



# Development Application

**Mixed Use Commercial**  
**58-62 Railway Pde GRANVILLE NSW 2142**



DEVELOPMENT SUMMARY

Site area	1 668 m <sup>2</sup>
Zoning	E1 - Local Centre (Granville station ± 240m)
HOB permissible	10m
HOB proposed	10m to top parapet, 10.57m to lift over run at RL +26.200
FSR Permissible	0.8 : 1    (GFA 1 334.4 m <sup>2</sup> )
FSR Proposed	0.87 : 1    (GFA 1 452.29 m <sup>2</sup> )

PROPOSED GFA

Ground Fl	715.40 m <sup>2</sup>	Existing heritage house 153.60 m <sup>2</sup> Medical + commercial/retail 561.80 m <sup>2</sup>
First Fl	388.95 m <sup>2</sup>	Childcare Center
Second Fl	347.94 m <sup>2</sup>	Chidcare Center
Total GFA	1 452.29 m <sup>2</sup>	

PARKING ALLOCATION

Room	Parking Control	Provided car space
Medical Center (existing + new)	3 spaces / surgery ( 6 consulting rooms )	23 spaces
Commercial / retail	50 m <sup>2</sup> / 40	2 cars
Childcare Center	- parents/visitor 120 kids / 10 - staffs 24 staffs / 2	13 cars 12 cars
Total car spaces provided		50 car spaces

CHILDCARE CENTRE

Unencumbered indoor space :		
(Min. 3.25m <sup>2</sup> / child)		
Playroom 1	65.08 m2	(20 children - 5 staffs)
Playroom 2	65.32 m2	(20 children - 5 staffs)
Playroom 3	66.27 m2	(20 children - 4 staffs)
Playroom 4	65.05 m2	(20 children - 4 staffs)
Playroom 5	65.90 m2	(20 children - 2 staffs)
Playroom 6	65 m2	(20 children - 2 staffs)
TOTAL	392.62 m2	120 children - 22 staffs + 2 part-time staffs
Unencumbered outdoor space :		
(Min. 7m <sup>2</sup> / child)		
Outdoor play area #1 (0-2 years, 40 kids)	280.24 m2	
Outdoor play area #2 (2-3 years, 20 kids)	141.31 m2	
Outdoor play area #3 (3-5 years, 40 kids)	288.15 m2	
Outdoor play area #4 (2-3 years, 20 kids)	142.52 m2	
TOTAL	852.22 m2	
Commercial	50 m2	

Drawing Register	
DA.03	Site Analysis
DA.04	Basement 2 Plan
DA.05	Basement 1 Plan
DA.06	Ground Floor Plan
DA.07	Level 1 Plan
DA.08	Level 2 Plan
DA.09	Roof Plan
DA.10	North & South Elevations
DA.11	East & West Elevations
DA.12	Sections A & B
DA.13	Section C & D
DA.14	Height Breaching Plane
DA.15	Shadow Diagrams
DA.16	Solar Diagram to OPA 1 & 2 @ Level 1
DA.17	Solar Access - OPA 01 @ L1 (Looking South)
DA.18	Solar Acces - OPA 01 @ L1 (Looking North)
DA.19	Solar Access - OPA 02 @ L1
DA.20	Solar Access - OPA 3 & 4 @ L2
DA.21	GFA Calculation
DA.22	Photomontage
DA.23	Internal Elevations & Details
DA.24	Deep Soil & Landscape Calculation
DA.25	Demolition Plan
DA.26	Waste Handling Route



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date: Thursday, 6 June 2024, 8:17 AM				

GENERAL NOTES

Figured dimensions shall be taken in preference to scaling. Drawing to be read in conjunction with information on first page. Check all dimensions and levels on site before commencing work or ordering materials. All existing ground lines & trees location are approximate, therefore to be verified on-site by the builder. Any discrepancies to be verified back to Zhinar Architects before proceeding. All workmanship and materials shall comply with all relevant codes, ordinances, Australian Standards and manufacturer's instructions. Unless noted 'Issued for Construction', drawing not to be used for construction.

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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Development Summary

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

Zhinar Architects Pty Ltd

Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
+61 2 8893 8888 / p  
+61 2 8893 8833 / f  
www.zhinar.com.au / w  
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PROJECT NAME

Mixed Use Commercial

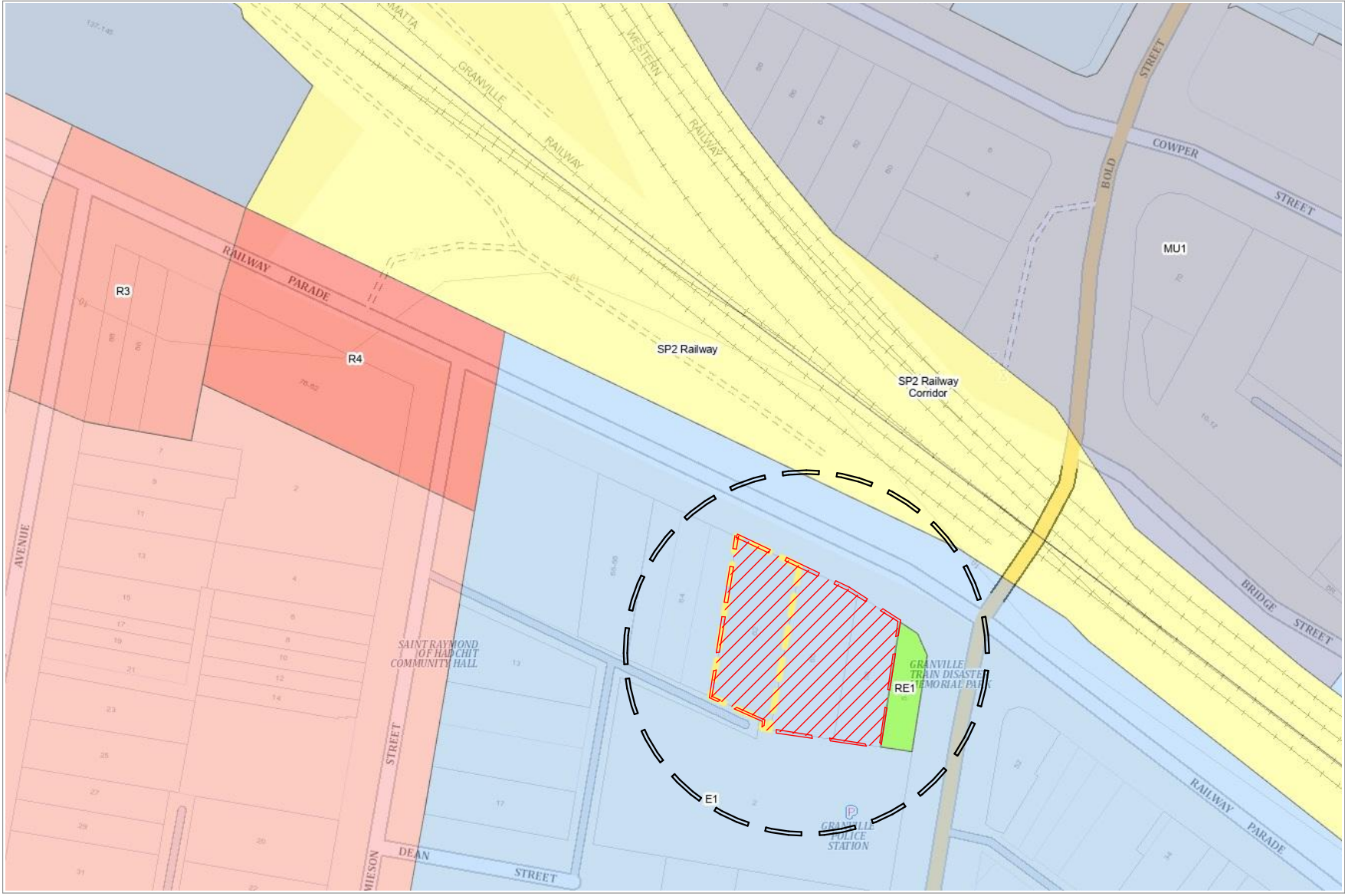
58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.01

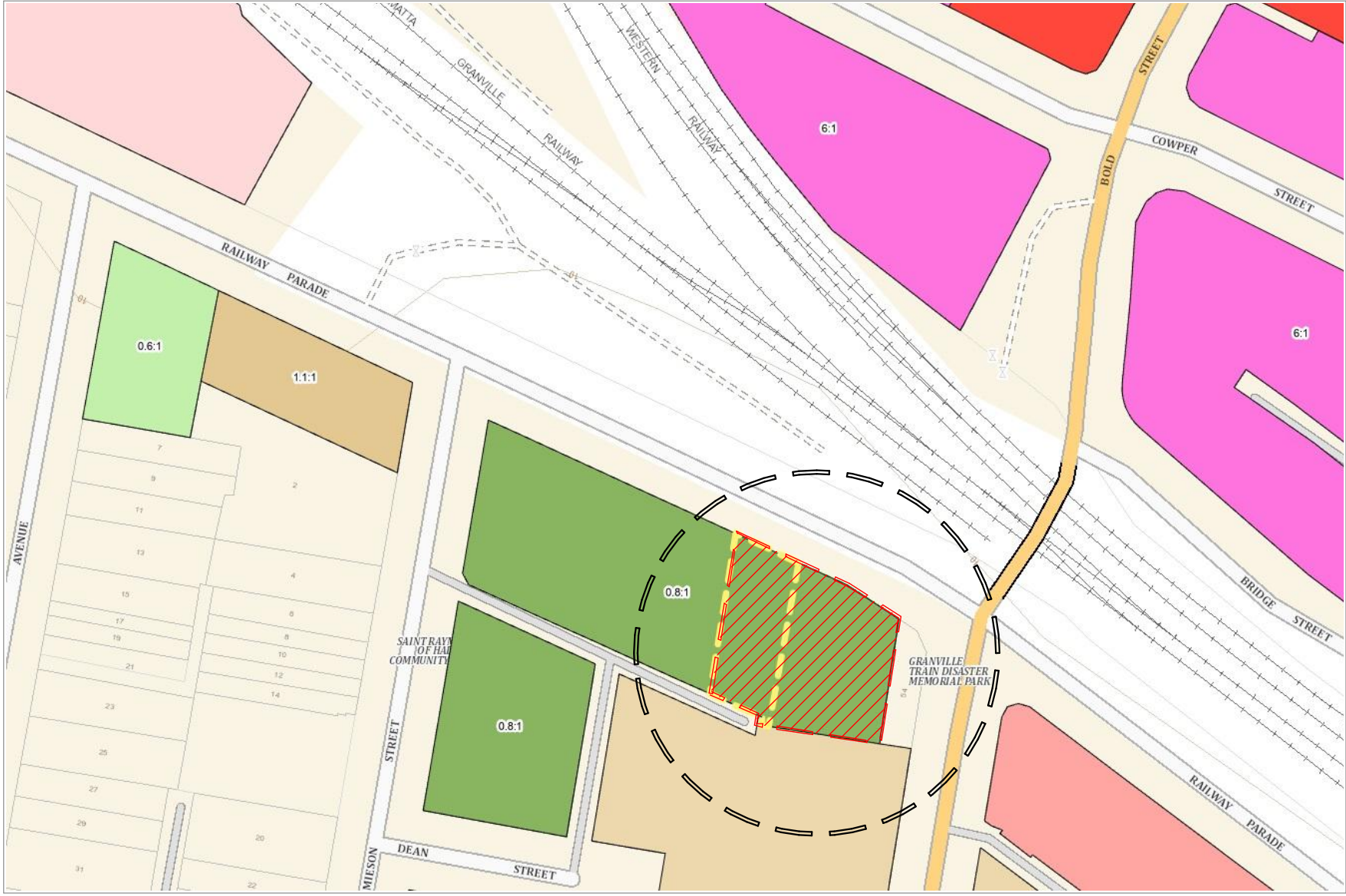
ISSUE

B

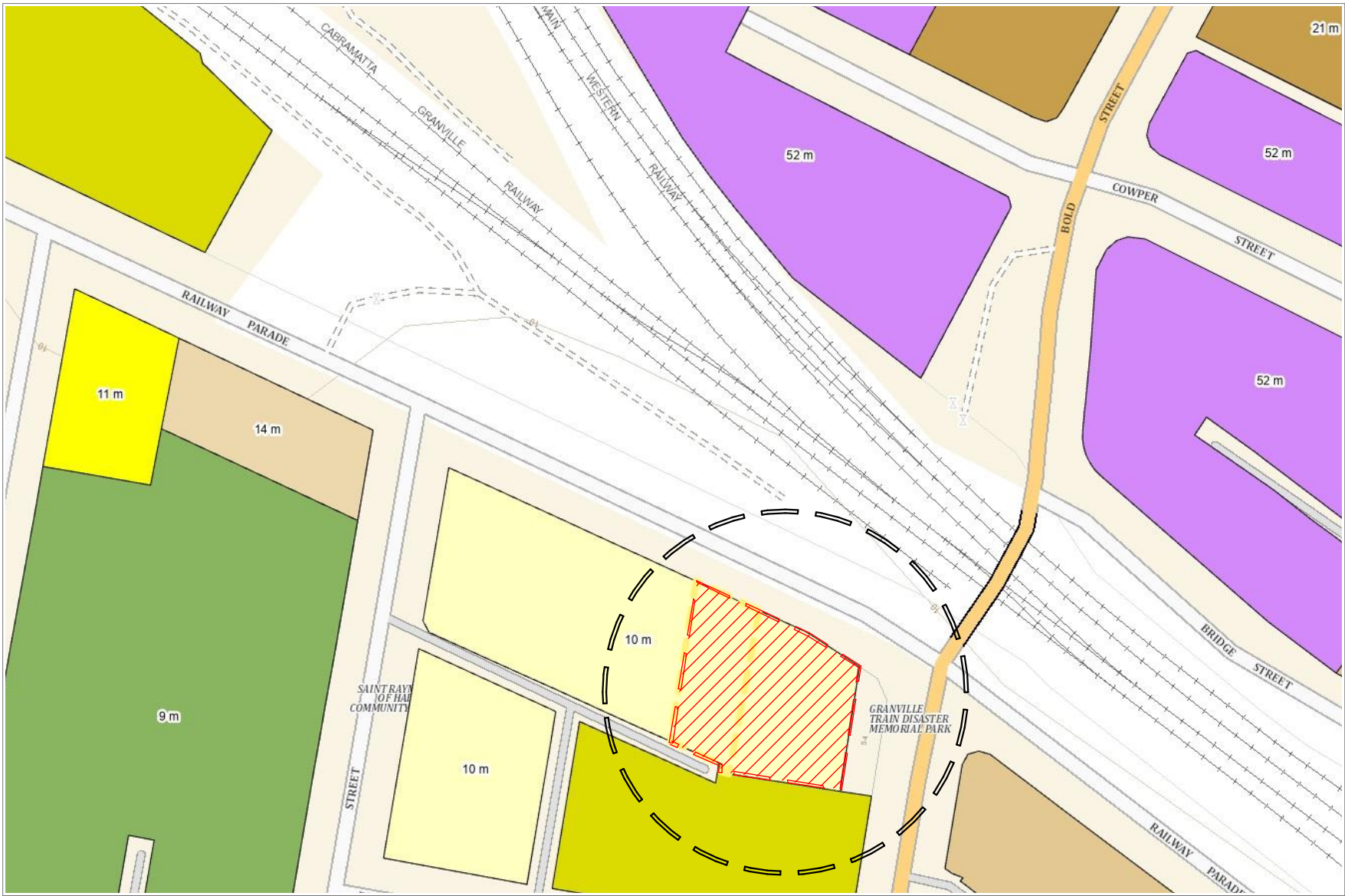




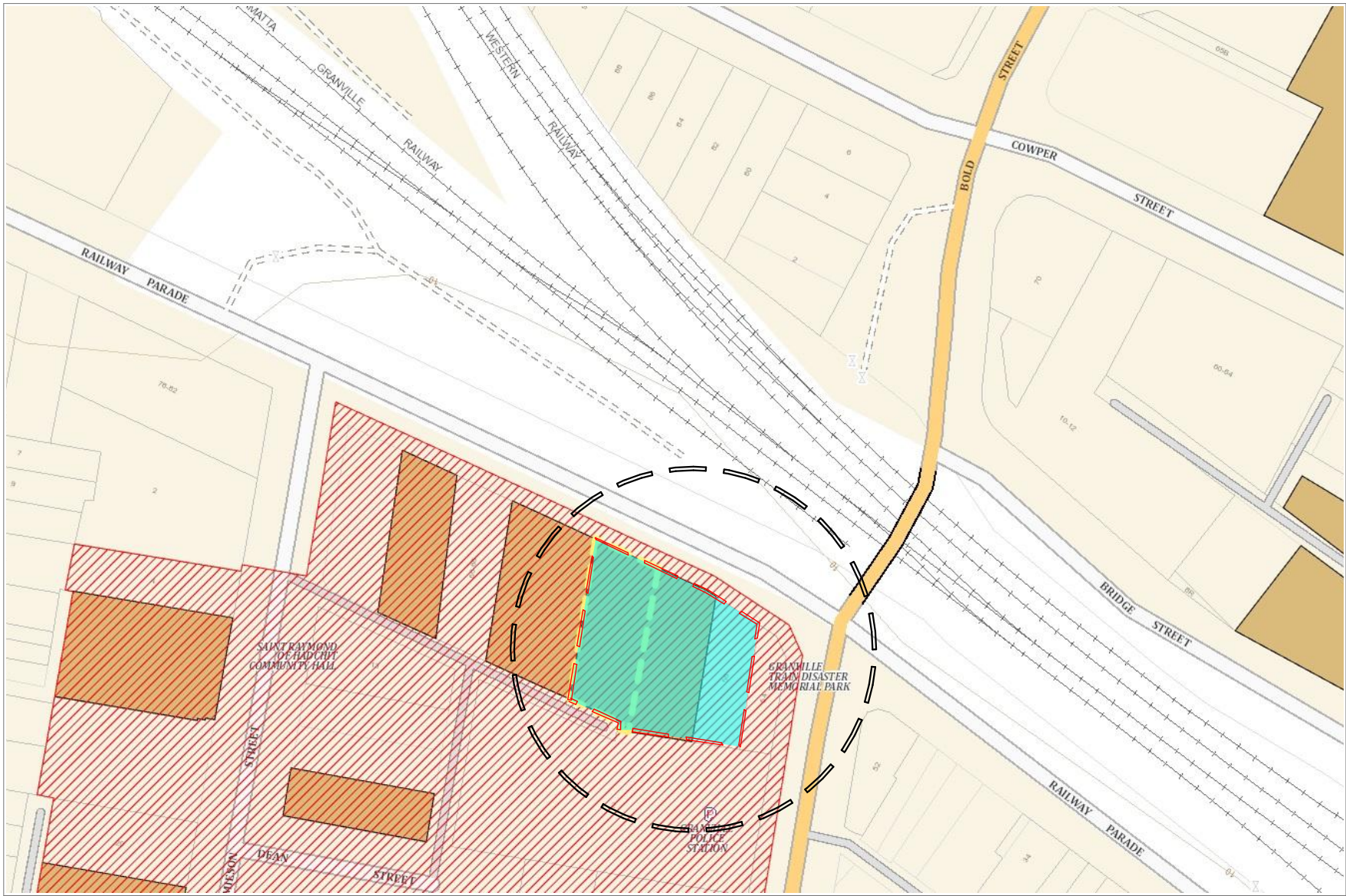
01 LAND ZONING - E1  
SOURCE : LEP CONTROLS



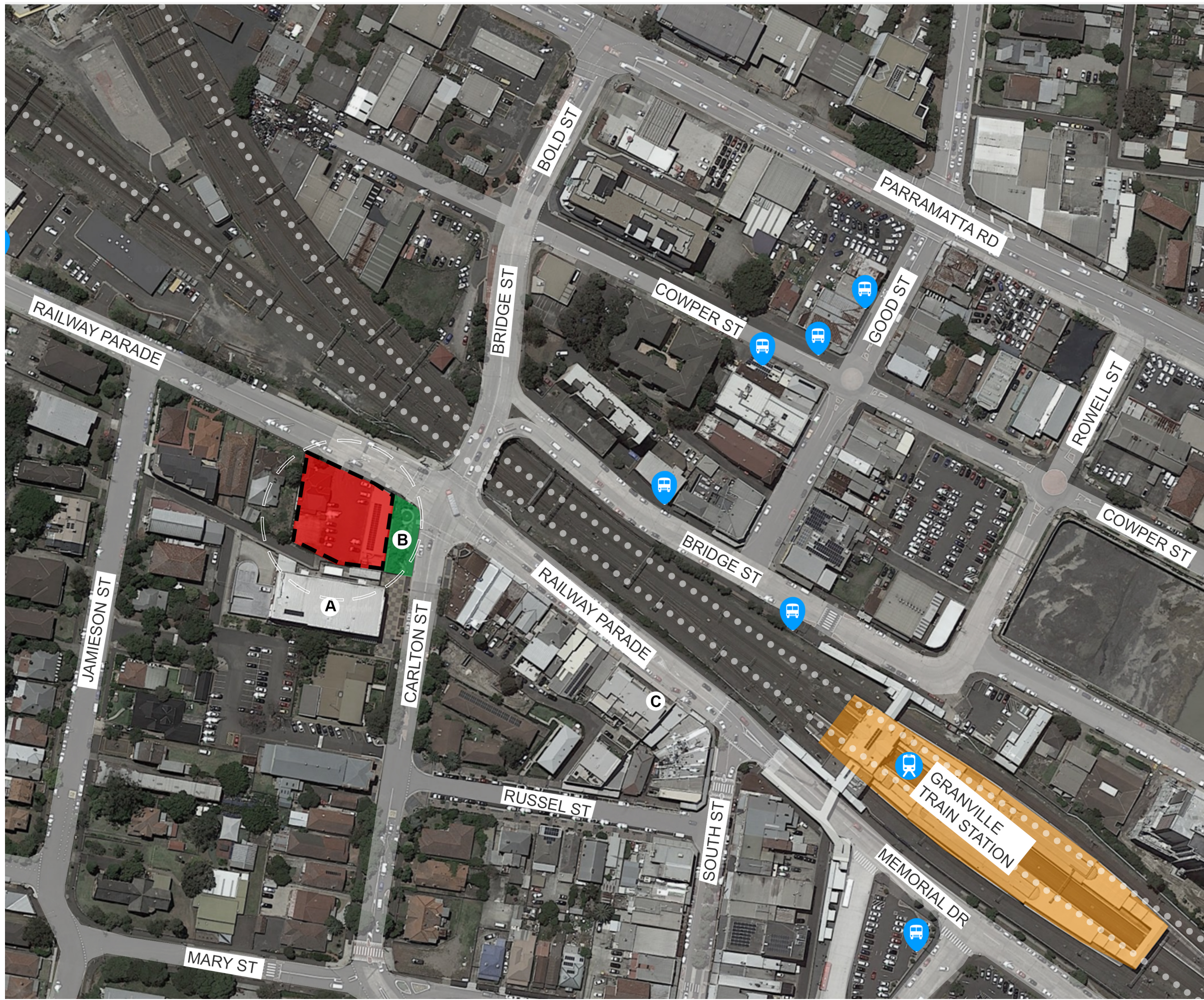
02 FLOOR SPACE RATIO - 0.8:1  
SOURCE : LEP CONTROLS



03 HEIGHT OF BUILDING - 10m  
SOURCE : LEP CONTROLS



04 HERITAGE  
SOURCE : LEP CONTROLS



LANDMARKS

- A Granville Police Station  
B RE1 - Granville Memorial Park  
C Australian Post  
Pedestrian link  
Site / Proposed Development



05 Street Elevation  
Scale 1:200 @ A1



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PROJECT STATUS

Development Application

SHEET TITLE

Urban Context Analysis

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

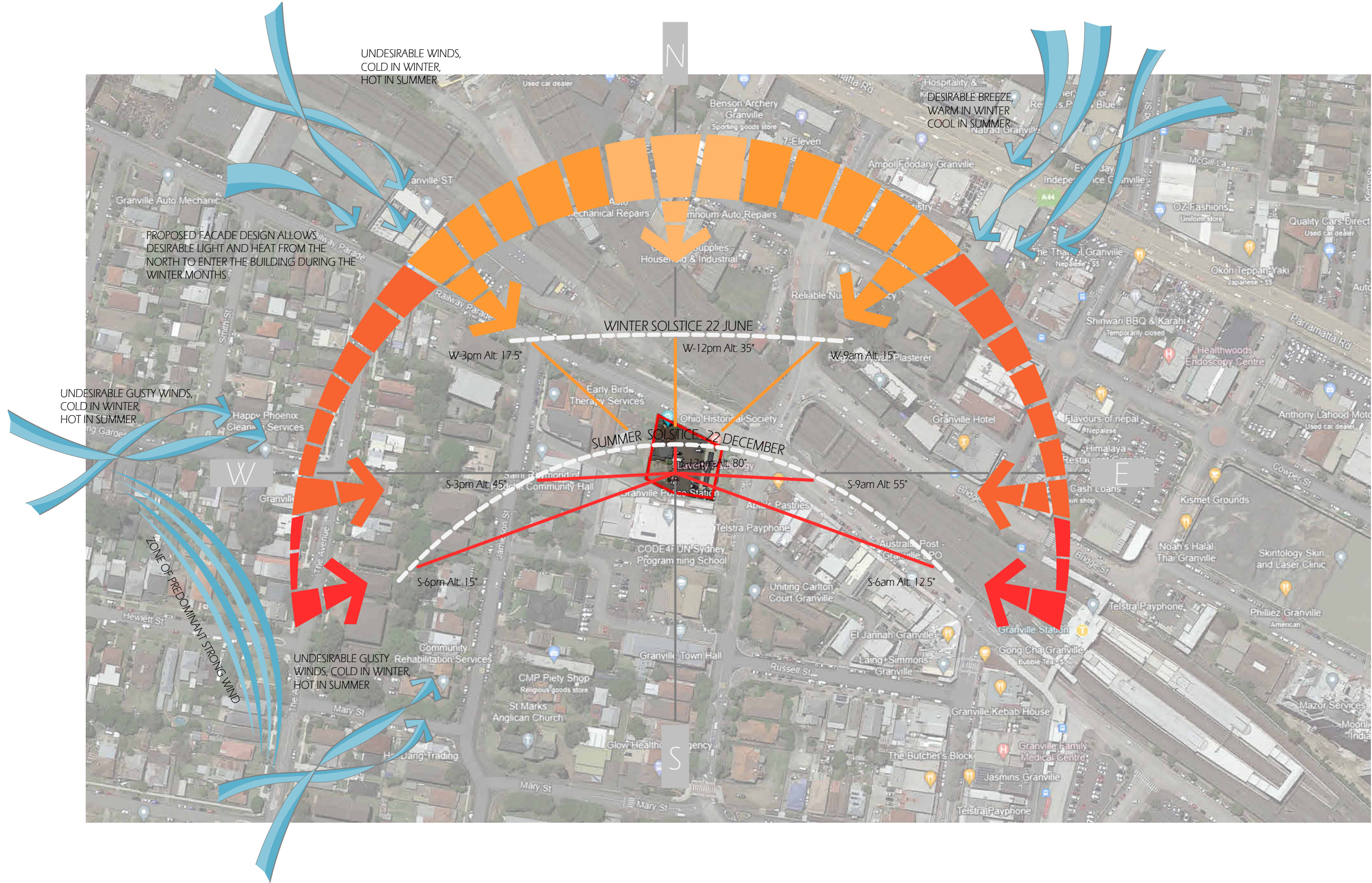
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PROJECT NAME

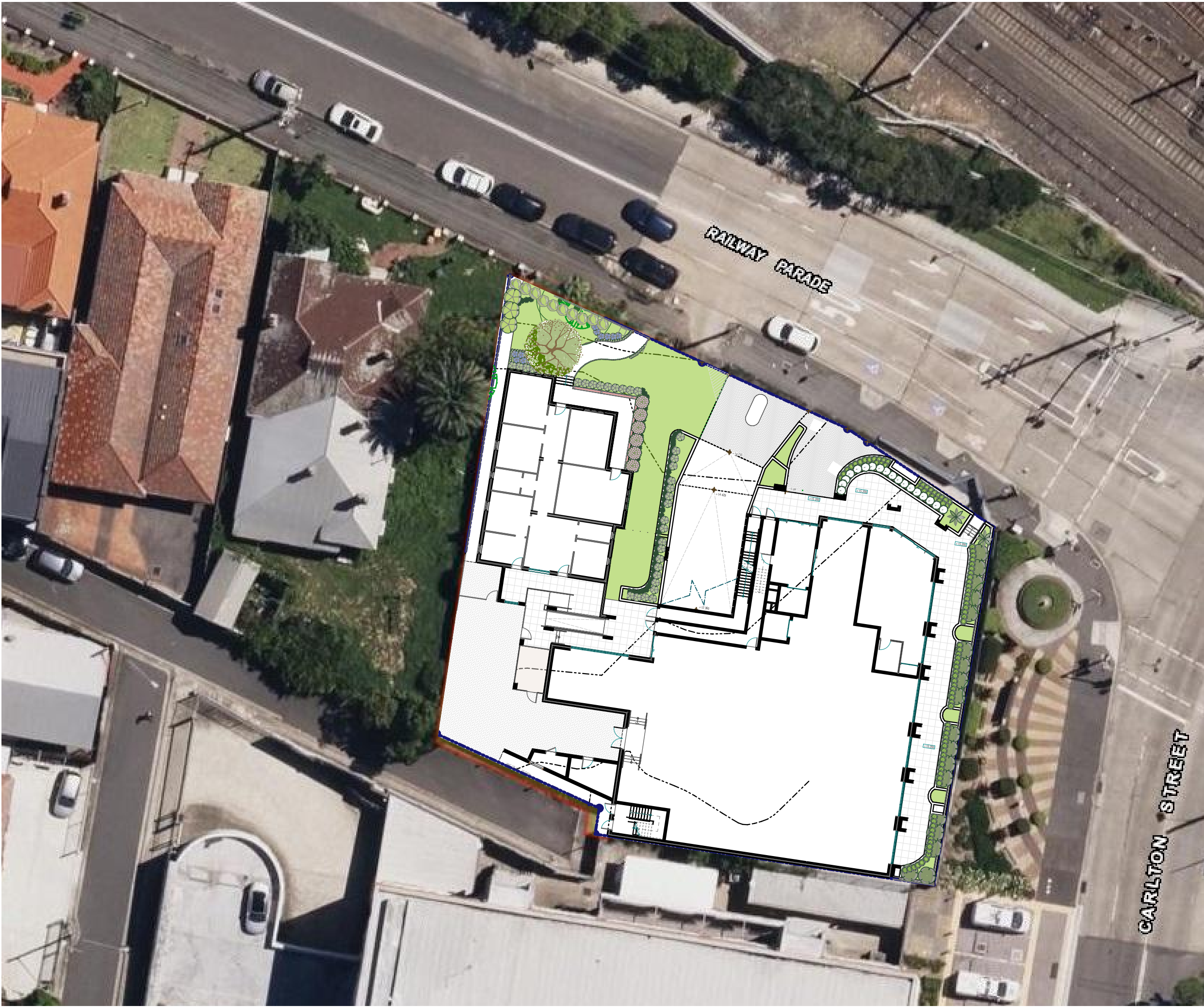
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.02

ISSUE  
B





01 Site Analysis  
NTS



02 Site Plan  
NTS



VIEW FROM CORNER OF RAILWAYPDE & CARLTON ST



SITE : 58-62 RAILWAY PDE, GRANVILLE



NEIGHBORING SITES



RAILWAYPDE LOOKING TO EAST



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PROJECT STATUS

Development Application

SHEET TITLE

Site Analysis

DESIGNED: AM  
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PRINT:

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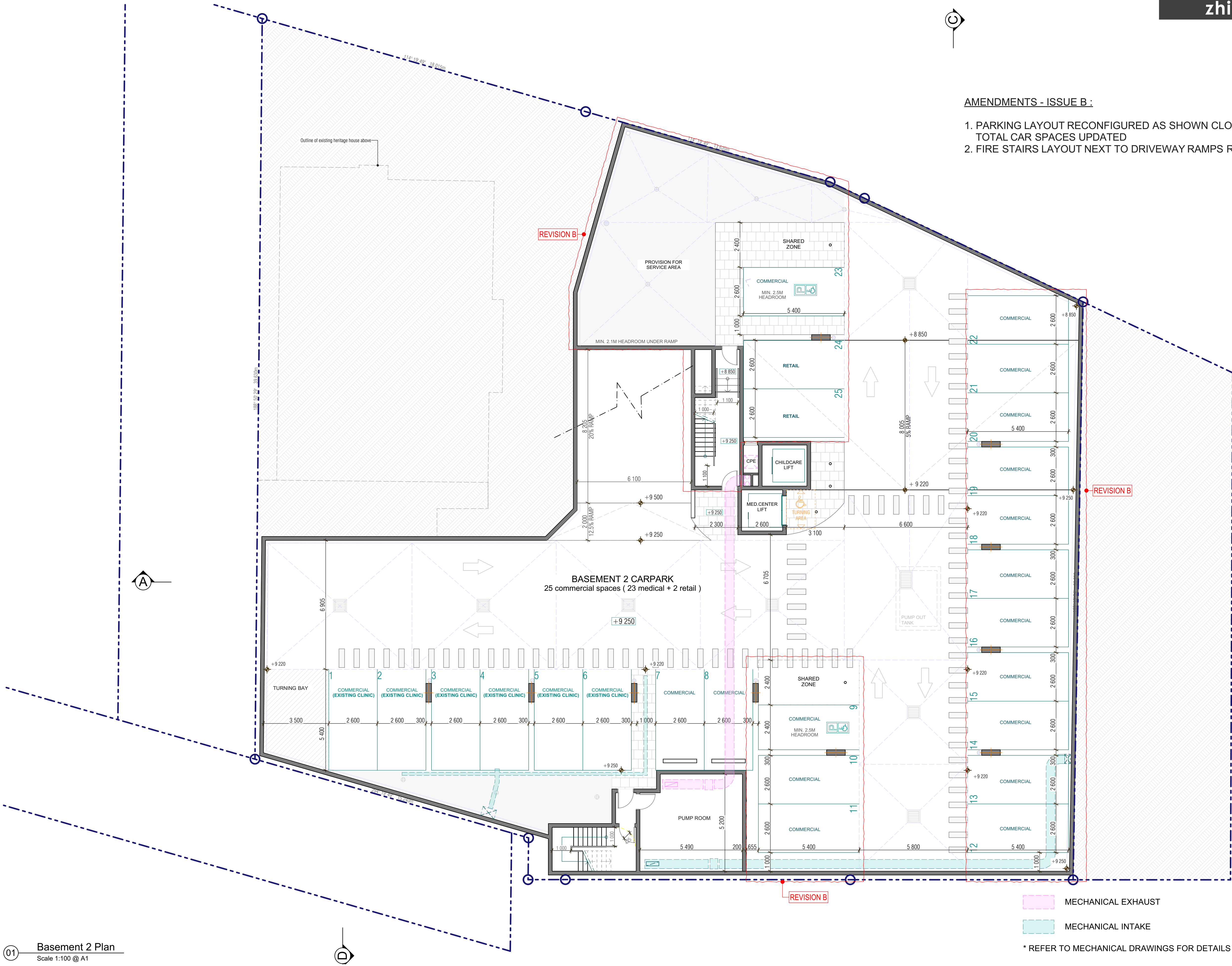
PROJECT NAME

Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.03

ISSUE  
B



- AMENDMENTS - ISSUE B :
- 1. PARKING LAYOUT RECONFIGURED AS SHOWN CLOUDED.
  - TOTAL CAR SPACES UPDATED
  - 2. FIRE STAIRS LAYOUT NEXT TO DRIVEWAY RAMP RECONFIGURED



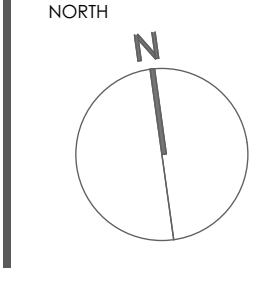
01 Basement 2 Plan  
Scale 1:100 @ A1

MECHANICAL EXHAUST  
MECHANICAL INTAKE  
\* REFER TO MECHANICAL DRAWINGS FOR DETAILS



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
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PROJECT STATUS  
Development Application

SHEET TITLE  
Basement 2 Plan  
DESIGNED: AM  
DRAWN: YT  
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1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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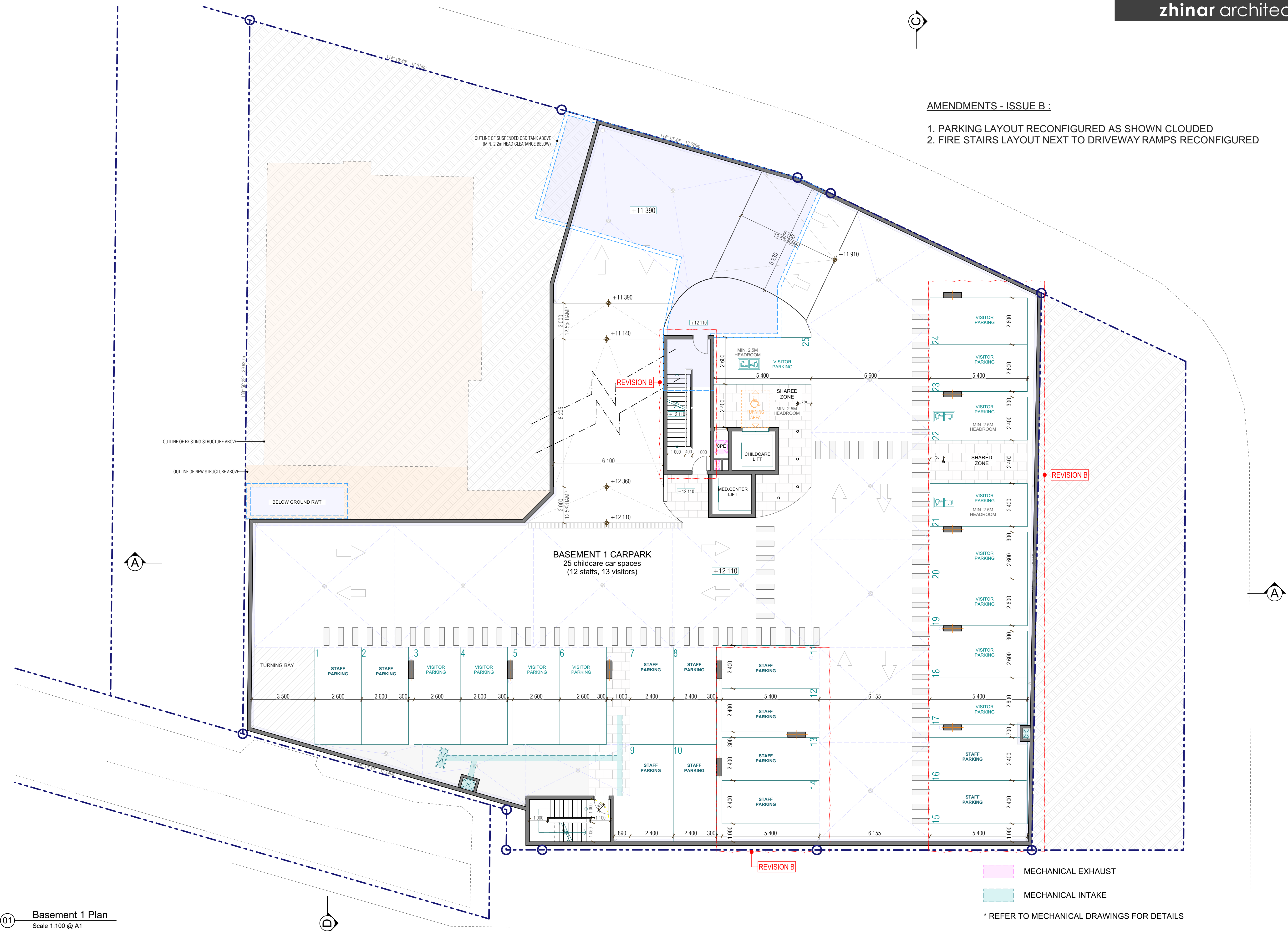
PROJECT NAME  
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.04

ISSUE  
B



AMENDMENTS - ISSUE B :

1. PARKING LAYOUT RECONFIGURED AS SHOWN CLOUDED
2. FIRE STAIRS LAYOUT NEXT TO DRIVEWAY RAMPS RECONFIGURED



01 Basement 1 Plan  
Scale 1:100 @ A1

MECHANICAL EXHAUST  
MECHANICAL INTAKE  
\* REFER TO MECHANICAL DRAWINGS FOR DETAILS



MECHANICAL EXHAUST  
MECHANICAL INTAKE  
\* REFER TO MECHANICAL DRAWINGS FOR DETAILS



AMENDMENTS - ISSUE B :

1. DRIVEWAY SHIFTED 1.2m AWAY FROM EX. POWER POLE
2. FIRE STAIRS NEAR RAMPS UPDATED
3. NEW SERVICE CORRIDOR PROVIDED NEAR FIRE STAIRS FOR WASTE HANDLING TO WSA. PREVIOUS STAIRS FROM B1 TO GF DELETED
4. NEW EGRESS POINT PROVIDED NEAR TERRACE CONNECTING MEDICAL CENTER & EXISTING CLINIC
5. AC CONDENSOR UNITS RELOCATED NEAR LOADING BAY

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01 Ground Floor  
Scale 1:100 @ A1

PROJECT STATUS

Development Application

SHEET TITLE

Ground Floor Plan

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
+61 2 8893 8888 / p  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.06

ISSUE  
B



MECHANICAL EXHAUST  
MECHANICAL INTAKE

\* REFER TO MECHANICAL DRAWINGS FOR DETAILS

PREVIOUS BUILDING OUTLINE

AMENDMENTS - ISSUE B :

1. BUILDING OUTLINE ADJUSTED TO ADD SEPARATION TO THE HERITAGE ITEM.  
OUTDOOR PLAY AREA #1 UPDATED

01 First Floor  
Scale 1:100 @ A1

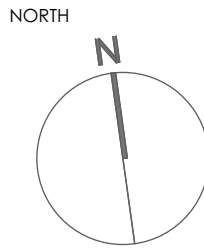


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PROJECT STATUS

Development Application

SHEET TITLE

Level 1 Plan

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122

+61 2 8893 8888 / p  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.07

ISSUE

B



MECHANICAL EXHAUST  
MECHANICAL INTAKE

\* REFER TO MECHANICAL DRAWINGS FOR DETAILS

PREVIOUS BUILDING OUTLINE

AMENDMENTS - ISSUE B :

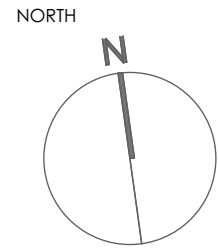
1. BUILDING OUTLINE ADJUSTED TO ADD SEPARATION TO THE HERITAGE ITEM.  
OUTDOOR PLAY AREA #1 UPDATED

01 Second Floor  
Scale 1:100 @ A1



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
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PROJECT STATUS  
Development Application

SHEET TITLE  
Level 2 Plan

DESIGNED: AM  
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SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
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Suite 1, Level 2  
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PROJECT NAME  
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.08

ISSUE  
B



AMENDMENTS - ISSUE B :

1. ROOF SLAB EXTENDED TO PROVIDE MORE SHADING TO OUTDOOR PLAY AREA
2. RL OF ROOF UPDATED FROM +25.700 TO +25.400

LOWER ROOF

LOWER ROOF

LOWER ROOF

TOP LIFT  
OVERUN

TOP RL+26.200

SKYLIGHT

REVISION B

ACCESS HATCH

+25.400

REVISION B

MECH RISER

MECHANICAL EXHAUST

MECHANICAL INTAKE

\* REFER TO MECHANICAL DRAWINGS FOR DETAILS

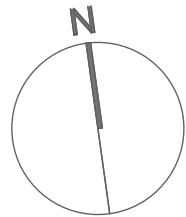
01 Roof  
Scale 1:100 @ A1

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NORTH



PROJECT STATUS

Development Application

SHEET TITLE

Roof Plan

DESIGNED: AM  
DRAWN: YT  
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SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
L.G.A.: Cumberland City Council

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Suite 1, Level 2  
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+61 2 8893 8888 / p  
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Mixed Use Commercial

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JOB No. 08797  
DRAWING No. DA.09

ISSUE

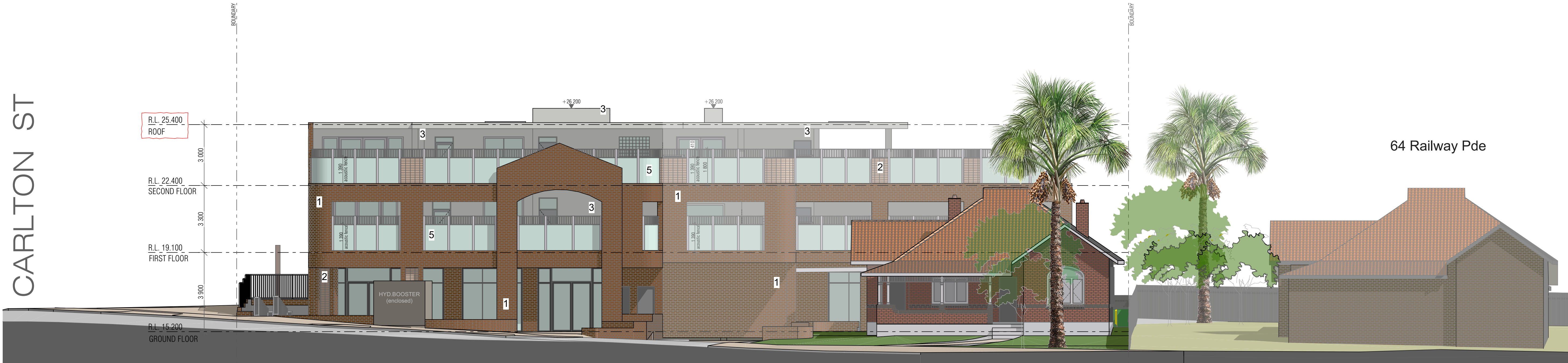
B



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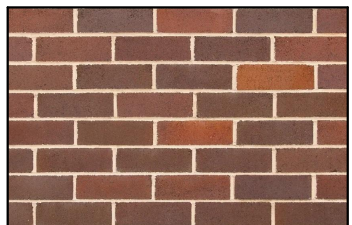
CARLTON ST



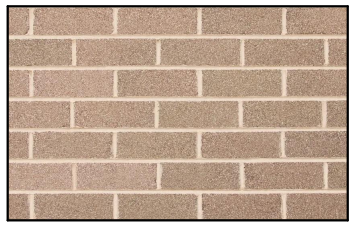
64 Railway Pde

01 North Elevation  
Scale 1:100 @ A1

MATERIAL SCHEDULE



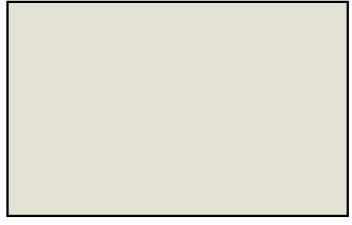
1. Brick Face 01  
BOWRAL - 'Gertrudis Brown' \*O.S.A



2. Brick Face 02  
BOWRAL - 'Simmental Silver' \*O.S.A



3. Paint Render 01  
DULUX (Acratex / smooth grain )  
'Grey Pebble Quarter' \*O.S.A



4. Door /window frames  
DULUX powdercoat 'Surfmist' \*O.S.A



5. Acoustic barrier (transparent)  
Single glazed view aperture acrylic/perspex/PC \*O.S.A

\*O.S.A : Or Similar Approved

DISCLAIMER :  
Colour use may vary from the original brushout. Colours need to be confirmed before painting.

02 South Elevation  
Scale 1:100 @ A1

AMENDMENTS - ISSUE B :

1. RL OF ROOF UPDATED FROM +25.700 TO +25.400



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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

North & South Elevations

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Eastwood NSW 2122  
+61 2 8893 8888 / p  
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PROJECT NAME

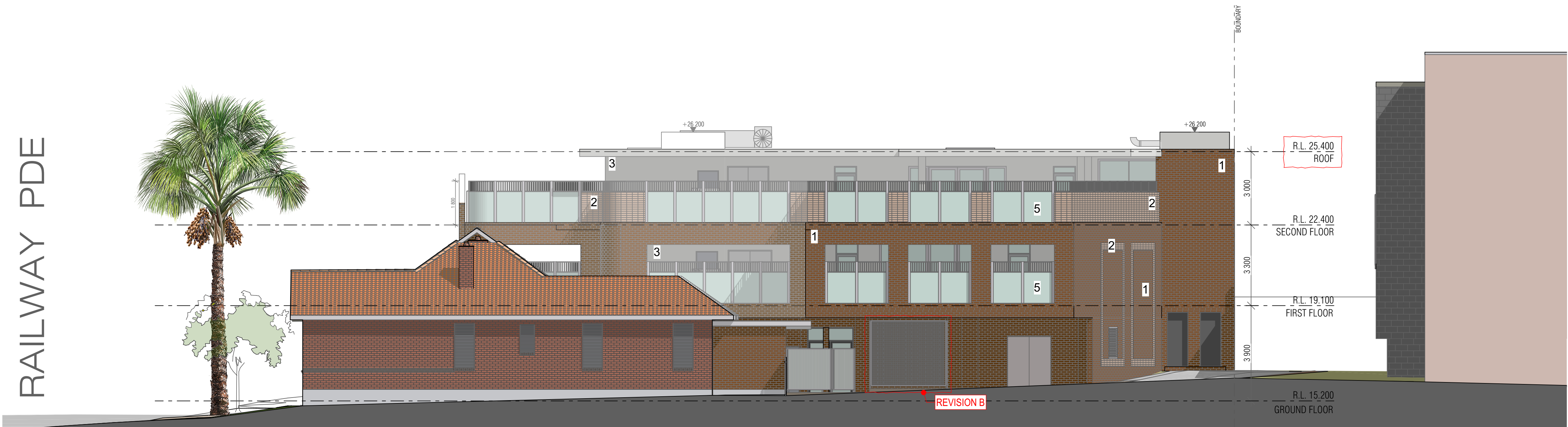
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.10

ISSUE  
B



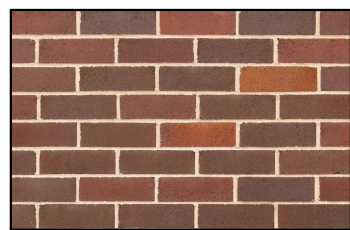


01 East Elevation  
Scale 1:100 @ A1

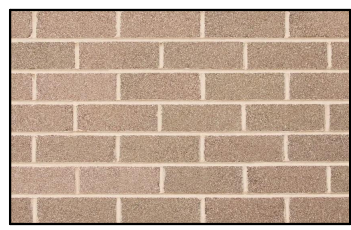


02 West Elevation  
Scale 1:100 @ A1

### MATERIAL SCHEDULE



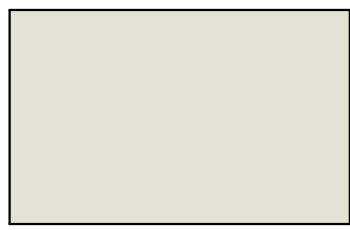
1. Brick Face 01  
BOWRAL - 'Gertrudis Brown'  
\*O.S.A



2. Brick Face 02  
BOWRAL - 'Simmental Silver'  
\*O.S.A



3. Paint Render 01  
DULUX (Acratex / smooth grain )  
'Grey Pebble Quarter'  
\*O.S.A



4. Door /window frames  
DULUX powdercoat 'Surfmist'  
\*O.S.A



5. Acoustic barrier (transparent)  
Single glazed view aperture acrylic/perspex/P  
\*O.S.A

### AMENDMENTS - ISSUE B :

- AC CONDENSOR UNITS RELOCATED NEAR LOADING BAY
- RL OF ROOF UPDATED FROM +25.700 TO +25.400

\*O.S.A : Or Similar Approved

DISCLAIMER :  
Colour use may vary from the original brushout. Colours need to be confirmed before painting.



ISSUE	DATE	DRAWN	CHECKED
B	6/06/2024	YT	AM
A	13/12/2024	YT	AM
ISSUE	DATE	DRAWN	CHECKED
Print Date: Thursday, 6 June 2024, 8:17 AM			

GENERAL NOTES  
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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

East & West Elevations

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

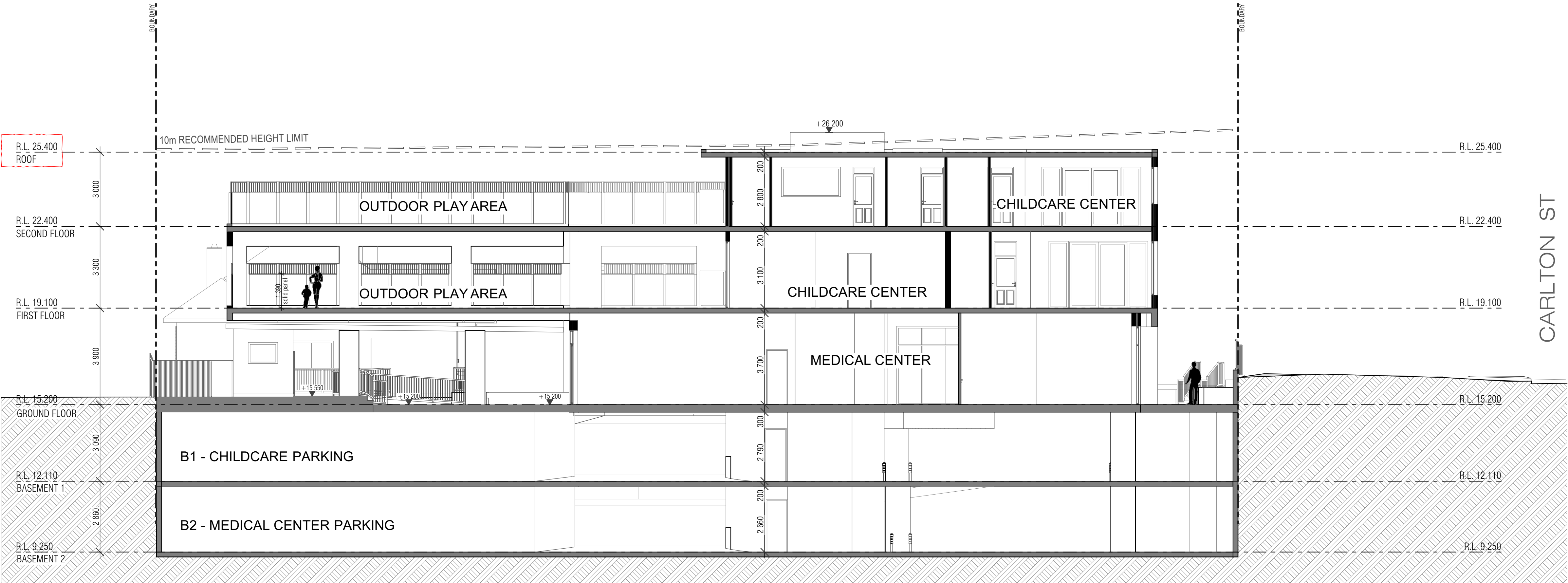
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PROJECT NAME

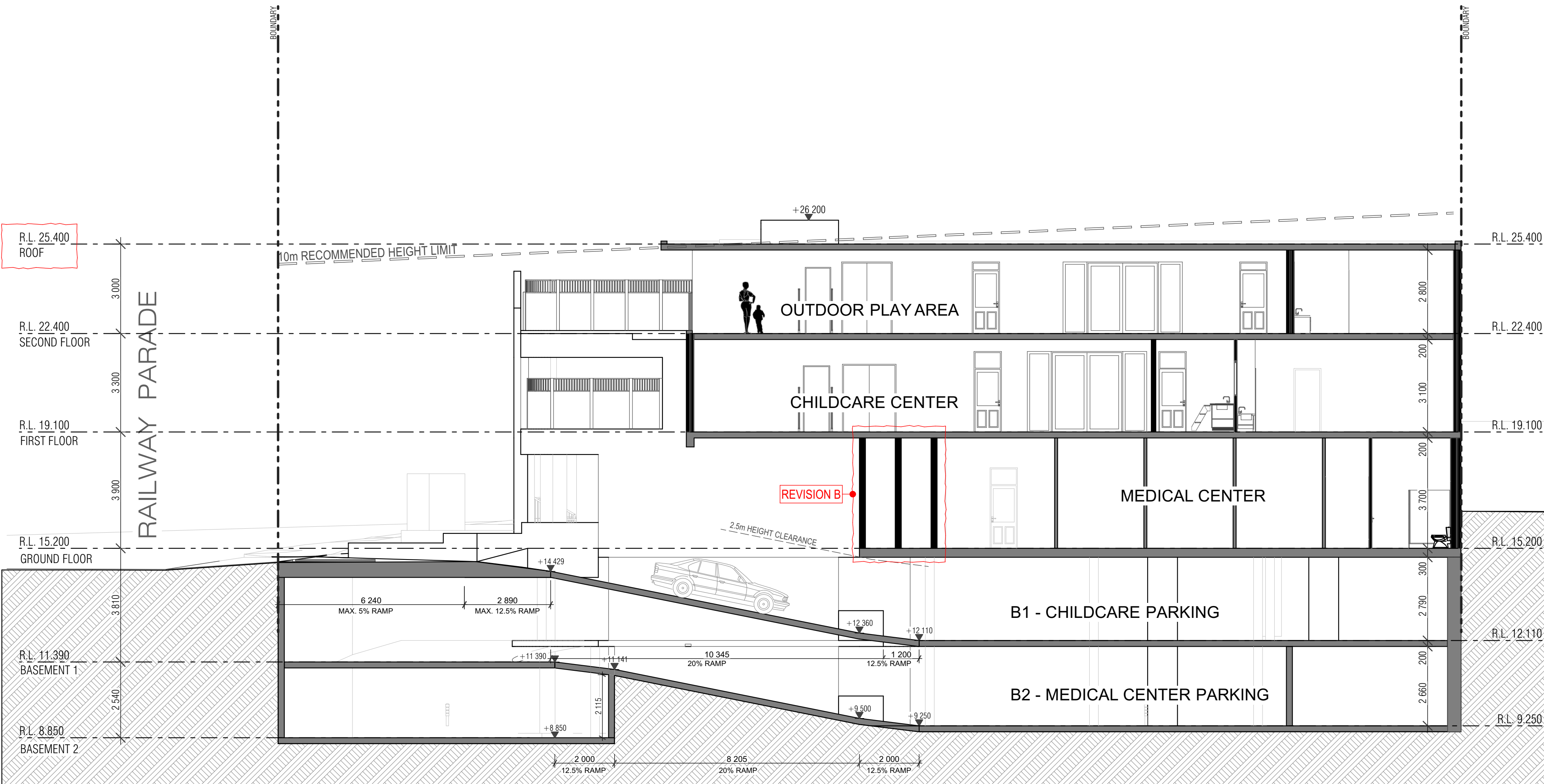
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.11

ISSUE  
B





01 Section A  
Scale 1:100 @ A1



AMENDMENTS - ISSUE B :

- EGRESS & SERVICE CORRIDORS SHOWN AS PER GROUND FLOOR UPDATED LAYOUT
- RL OF ROOF UPDATED FROM +25.700 TO +25.400

02 Section B  
Scale 1:100 @ A1



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:18 AM			

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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Sections A & B

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT:

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PROJECT NAME

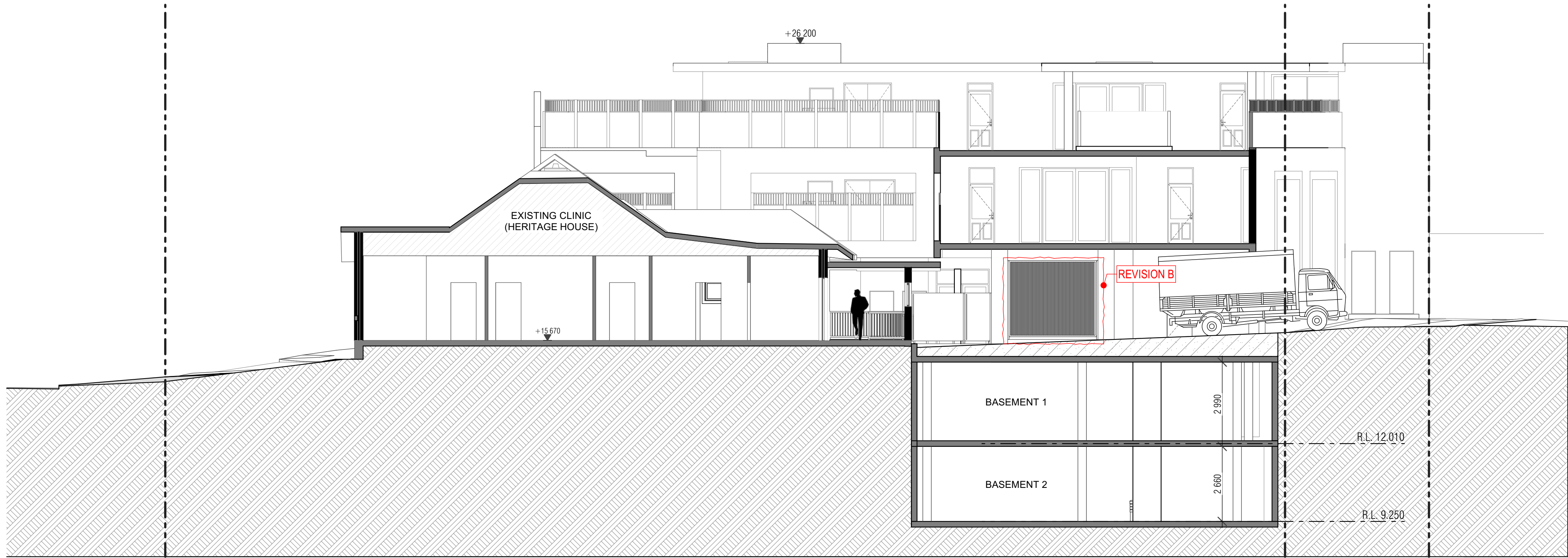
Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.12

ISSUE  
B





AMENDMENTS - ISSUE B :

1. AC CONDENSOR UNITS RELOCATED NEAR LOADING BAY
2. RL OF ROOF UPDATED FROM +25.700 TO +25.400



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:10 AM			

GENERAL NOTES  
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PROJECT STATUS

Development Application

SHEET TITLE

Section C & D

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

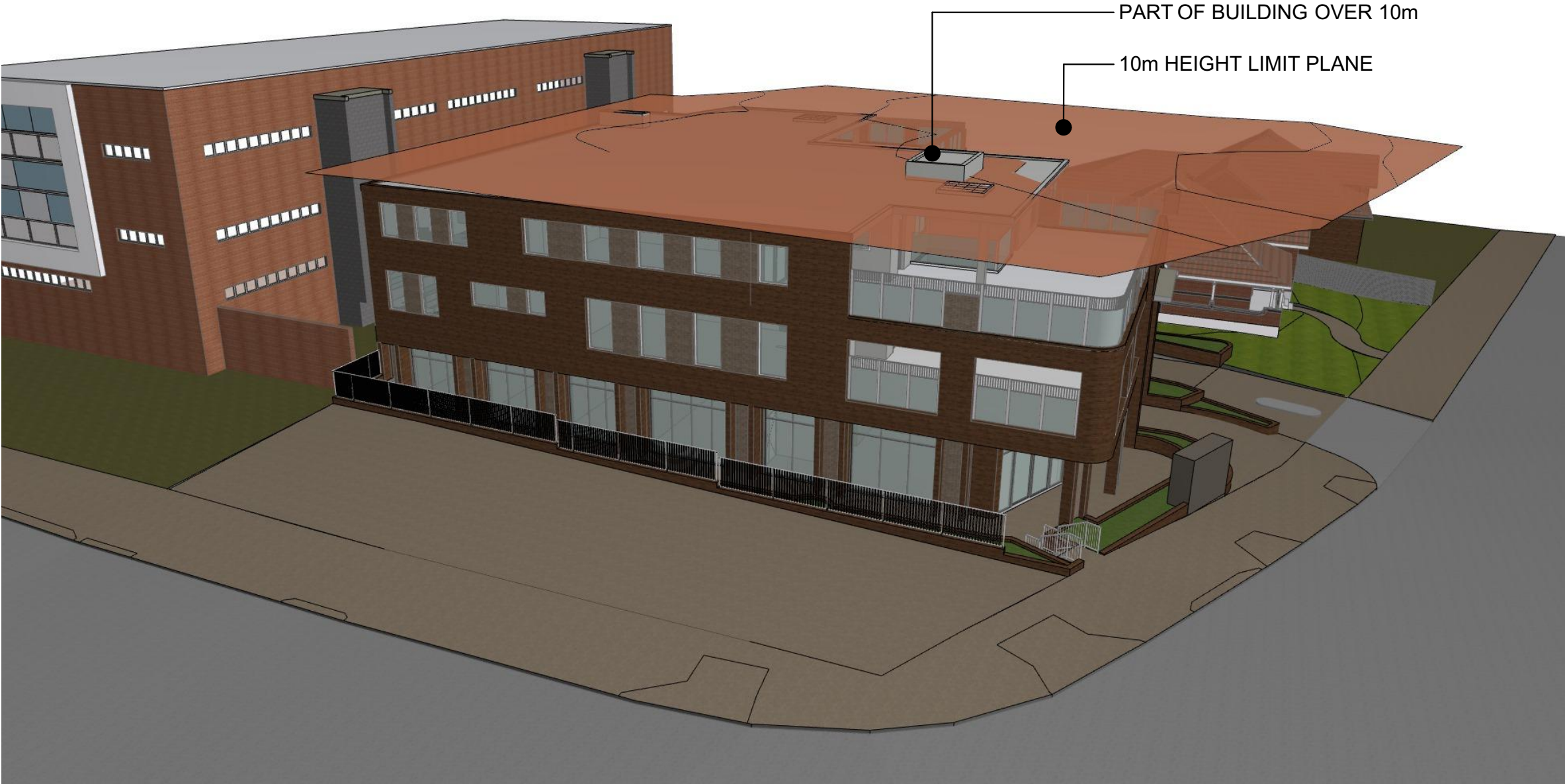
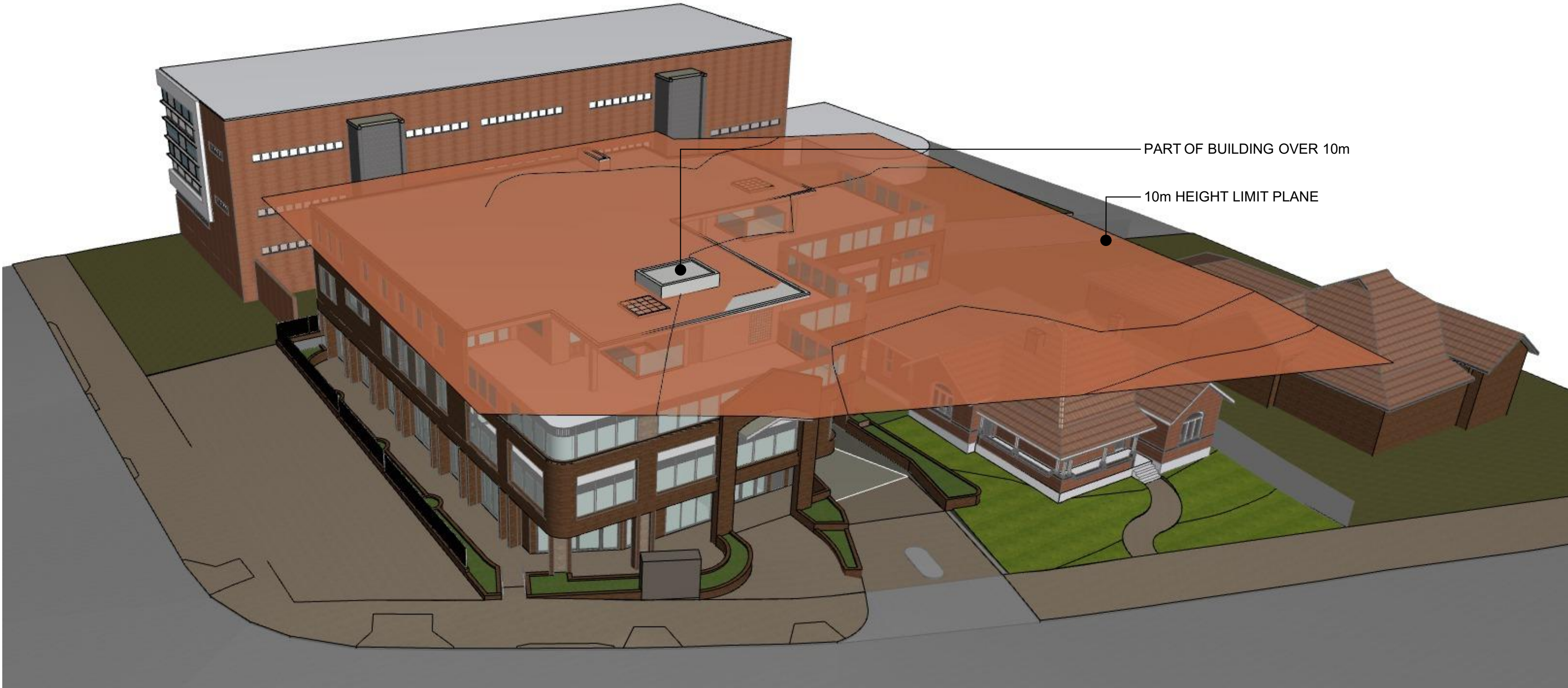
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PROJECT NAME

Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.13

ISSUE  
B





B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM	
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM	
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED	
Print Date	Thursday, 6 June 2024, 8:18 AM				

GENERAL NOTES

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PROJECT STATUS

Development Application

SHEET TITLE

Height Breaching Plane

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.14

ISSUE  
B





01 SHADOW 9AM - WINTER SOLSTICE  
1:300 @ A1

02 SHADOW 12PM - WINTER SOLSTICE  
1:300 @ A1

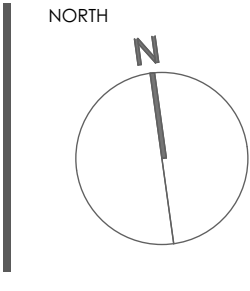


03 SHADOW 3PM - WINTER SOLSTICE  
1:300 @ A1



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
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PROJECT STATUS

Development Application

SHEET TITLE

Shadow Diagrams

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

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PROJECT NAME

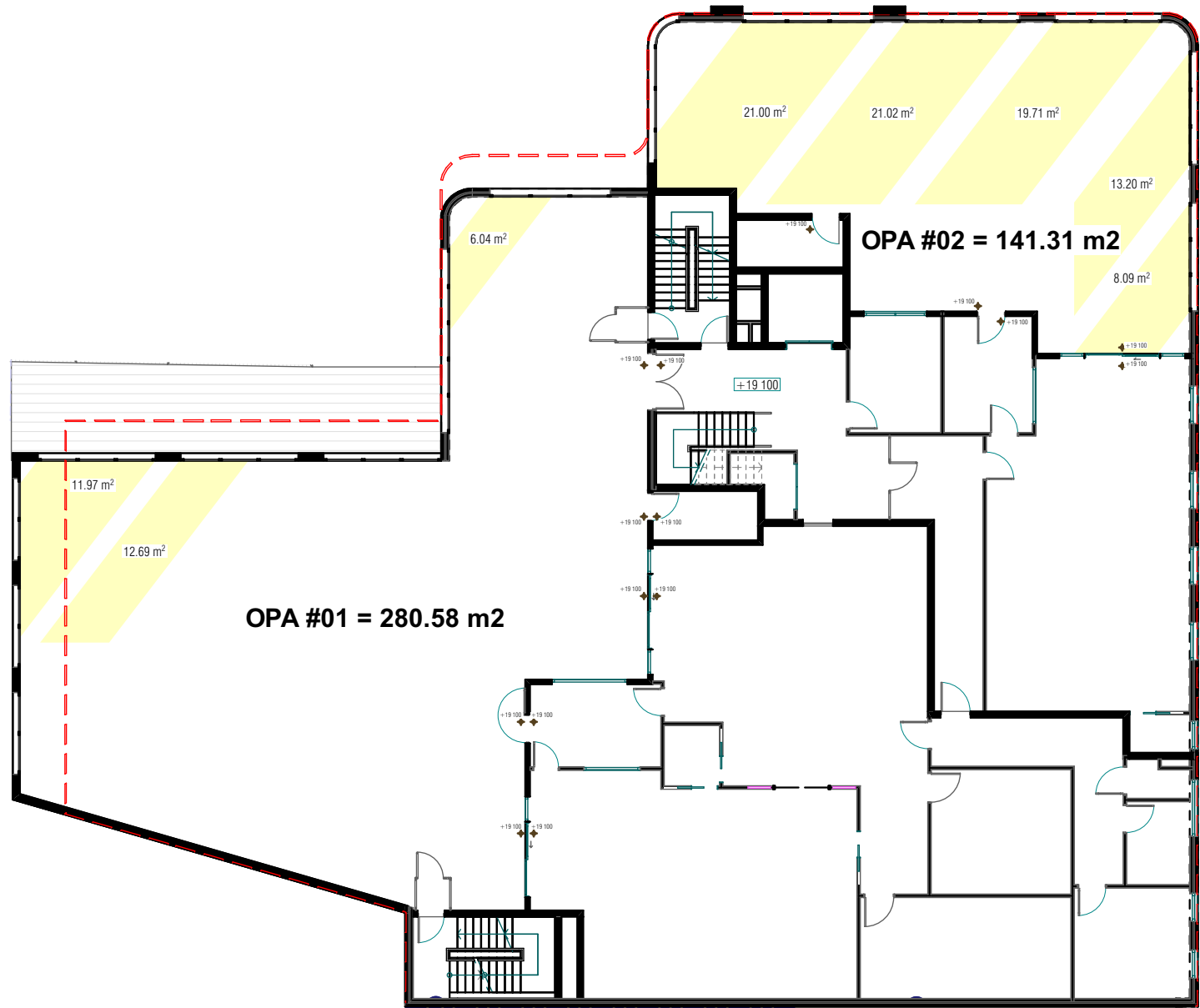
Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.15

ISSUE  
B

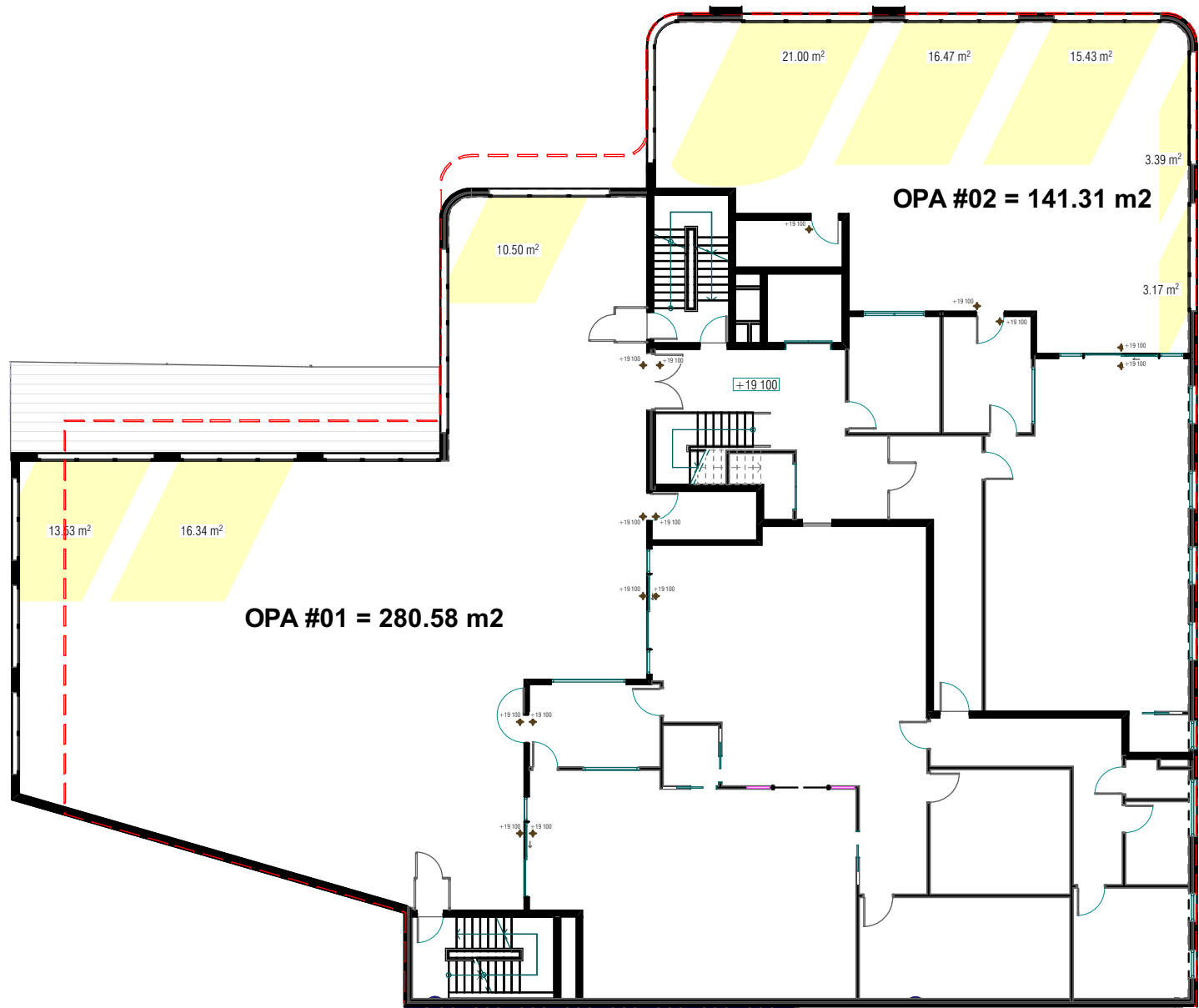




21st June - 9AM  
SCALE 1:400 @A3

Solar access to OPA#01 = 30.70 m2 (10.94%)

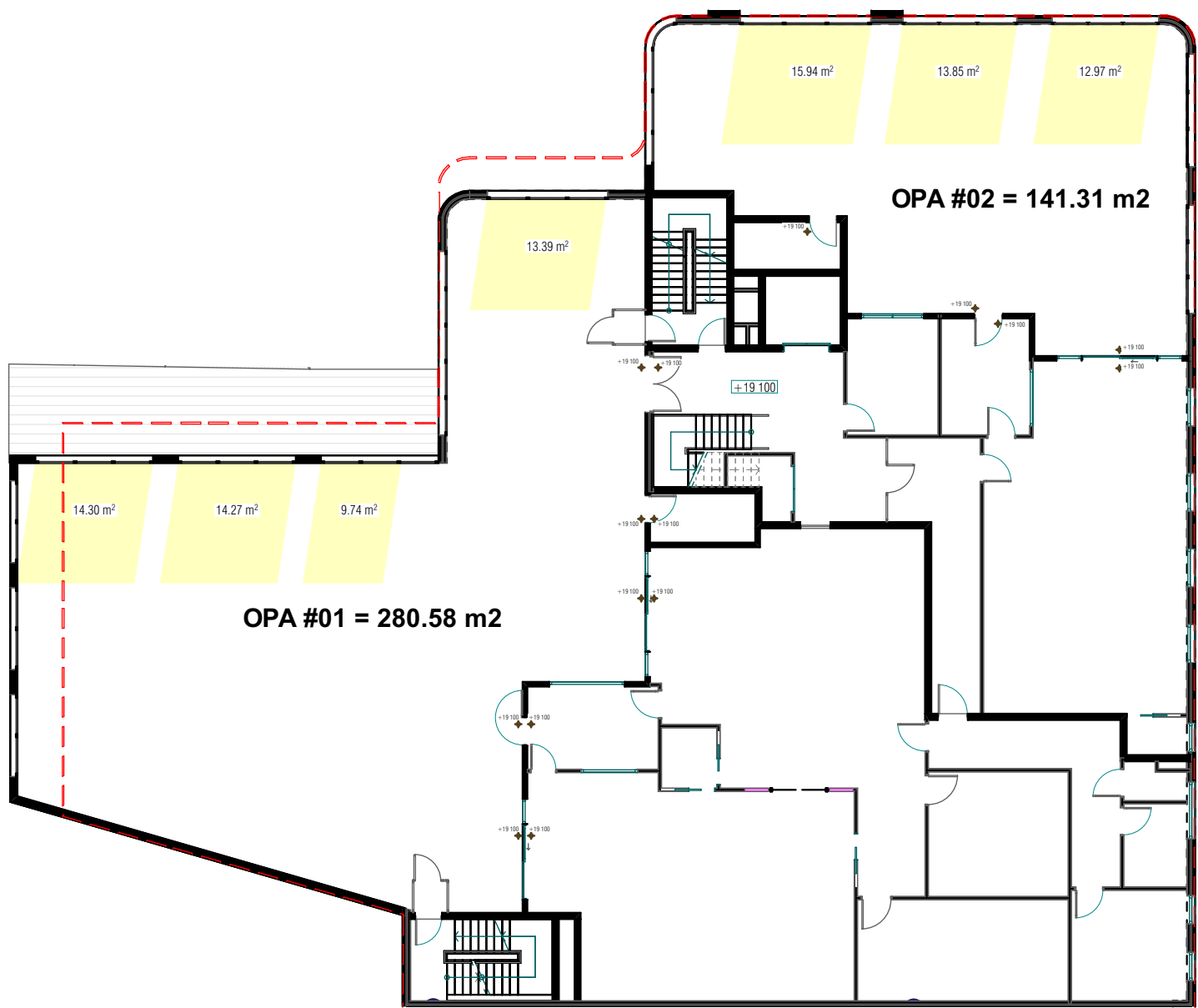
Solar access to OPA#02 = 83.71 m2 (59.23%)



21st June - 10AM  
SCALE 1:400 @A3

Solar access to OPA#01 = 40.37 m2 (14.38%)

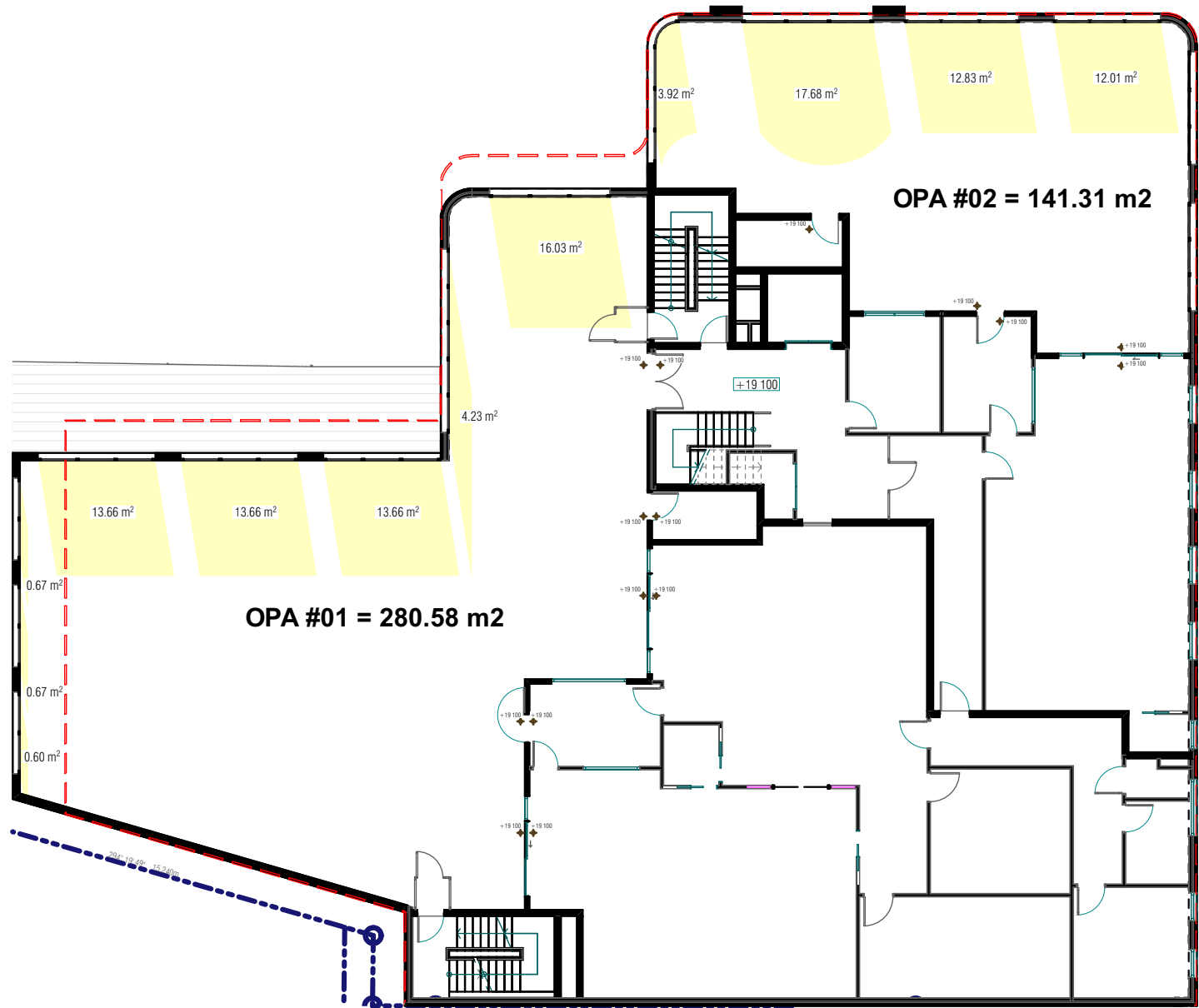
Solar access to OPA#02 = 59.46 m2 (42%)



21st June - 11AM  
SCALE 1:400 @A3

Solar access to OPA#01 = 51.70 m2 (18.42%)

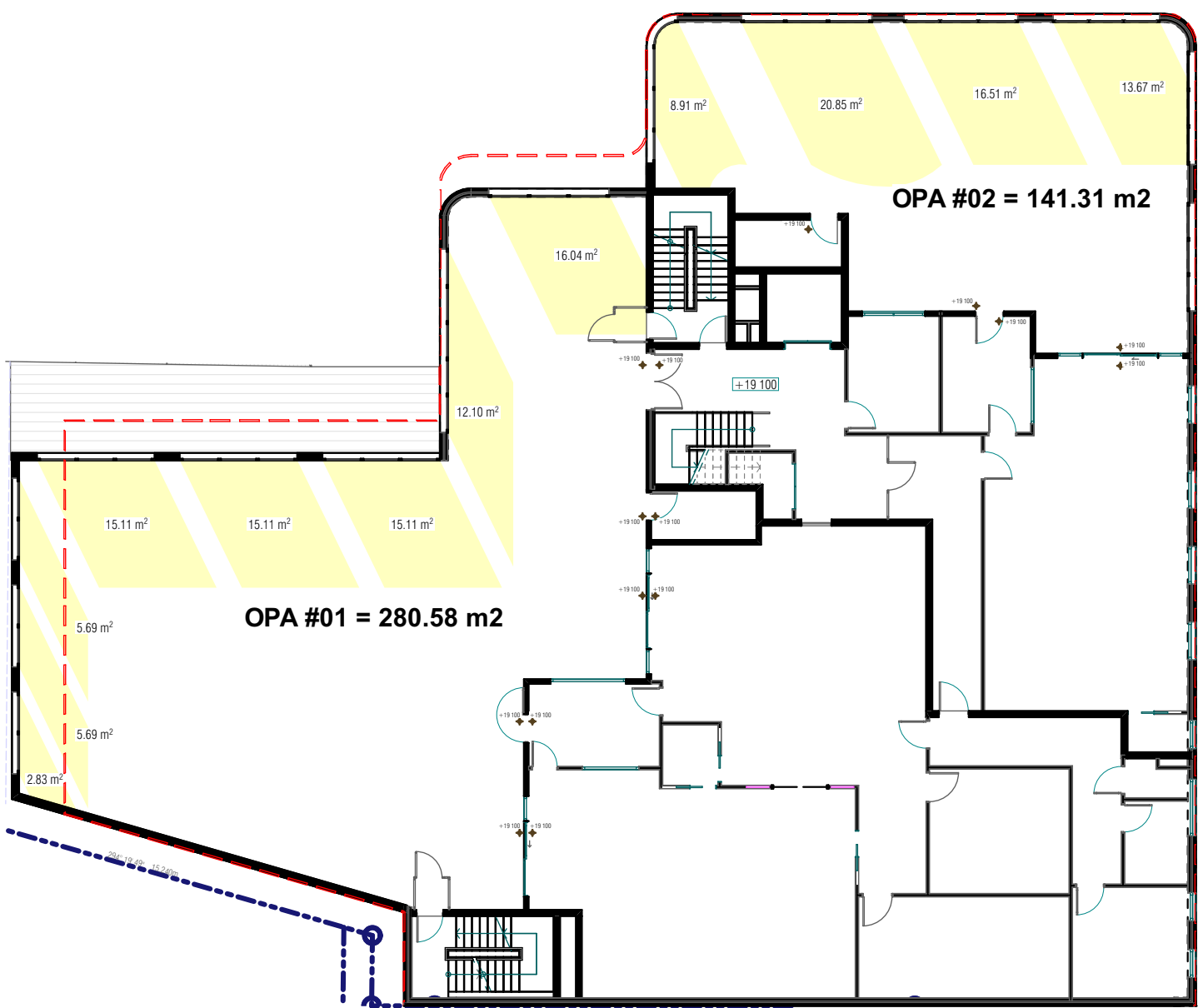
Solar access to OPA#02 = 42.76 m2 (30.25%)



21st June - 12PM  
SCALE 1:400 @A3

Solar access to OPA#01 = 63.18 m2 (22.50%)

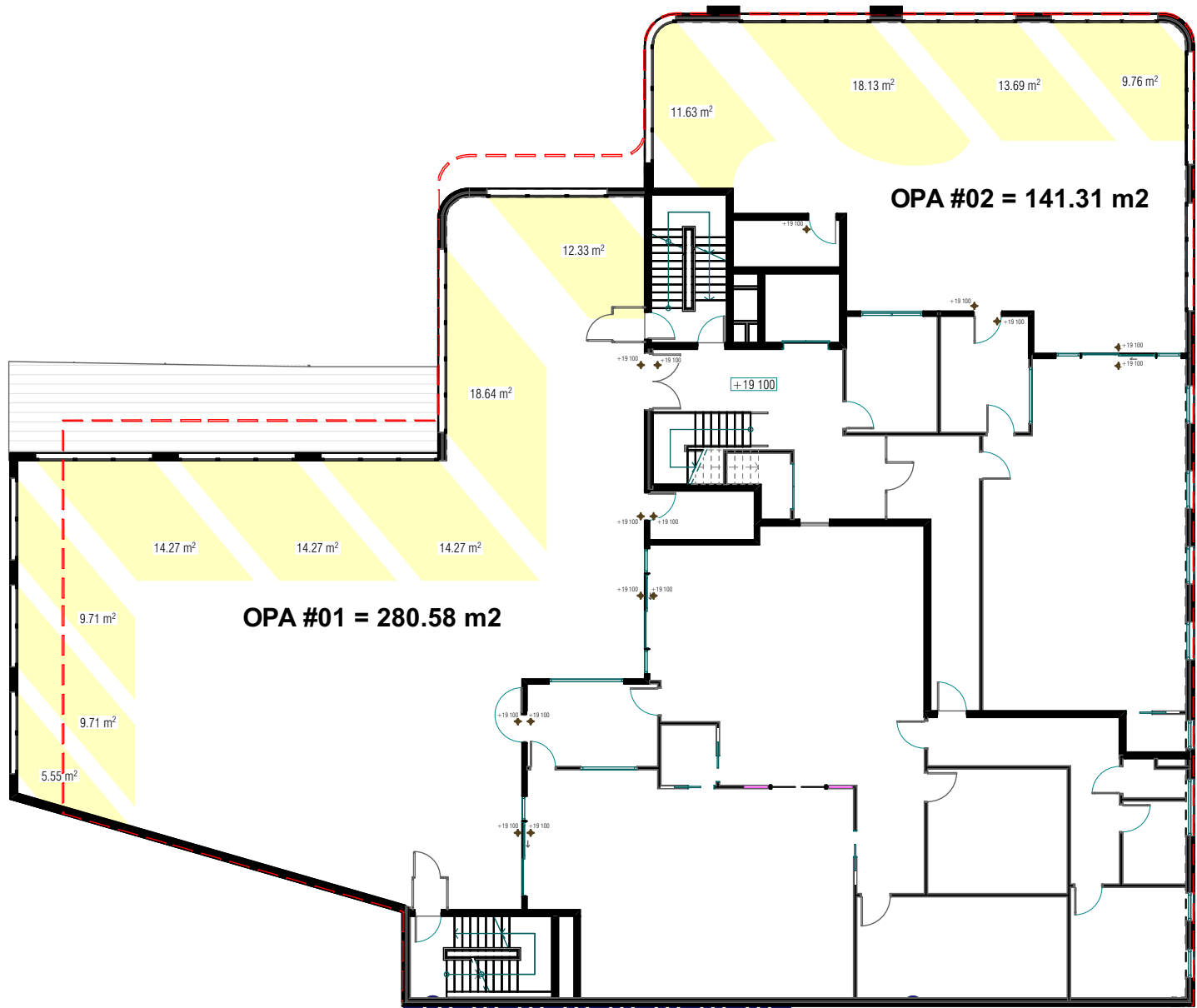
Solar access to OPA#02 = 46.44 m2 (32.86%)



21st June - 1PM  
SCALE 1:400 @A3

Solar access to OPA#01 = 87.68 m2 (31.25%)

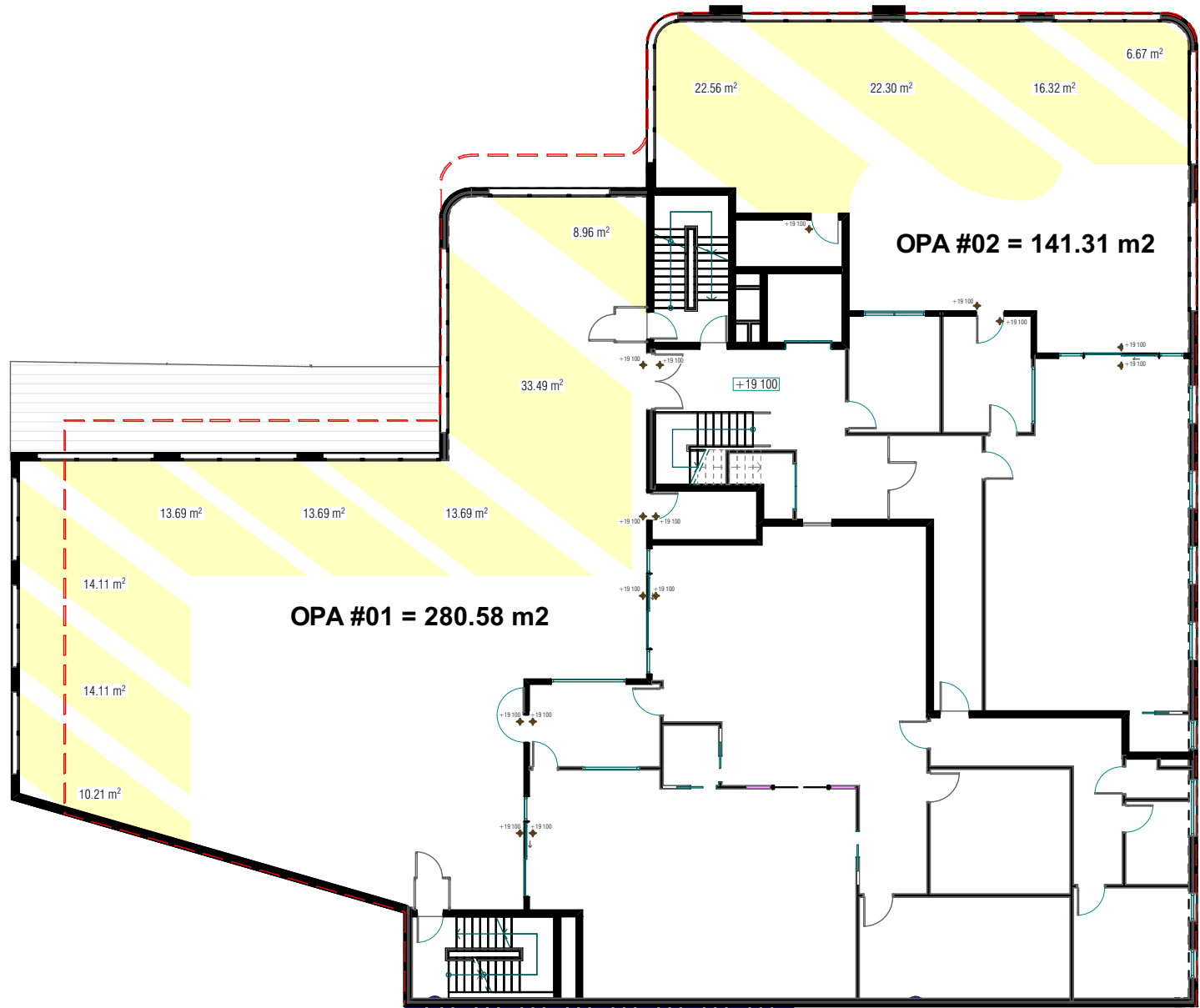
Solar access to OPA#02 = 59.94 m2 (42.41%)



21st June - 2PM  
SCALE 1:400 @A3

Solar access to OPA#01 = 98.75 m2 (35.19%)

Solar access to OPA#02 = 53.21 m2 (37.65%)



21st June - 3PM  
SCALE 1:400 @A3

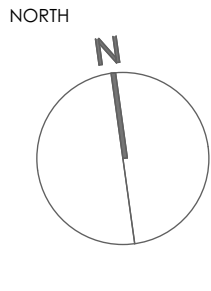
Solar access to OPA#01 = 121.95 m2 (43.46%)

Solar access to OPA#02 = 67.85 m2 (48%)



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
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ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
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PROJECT STATUS

Development Application

SHEET TITLE

Solar Diagram to OPA 1 & 2  
@ Level 1

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No.

08797

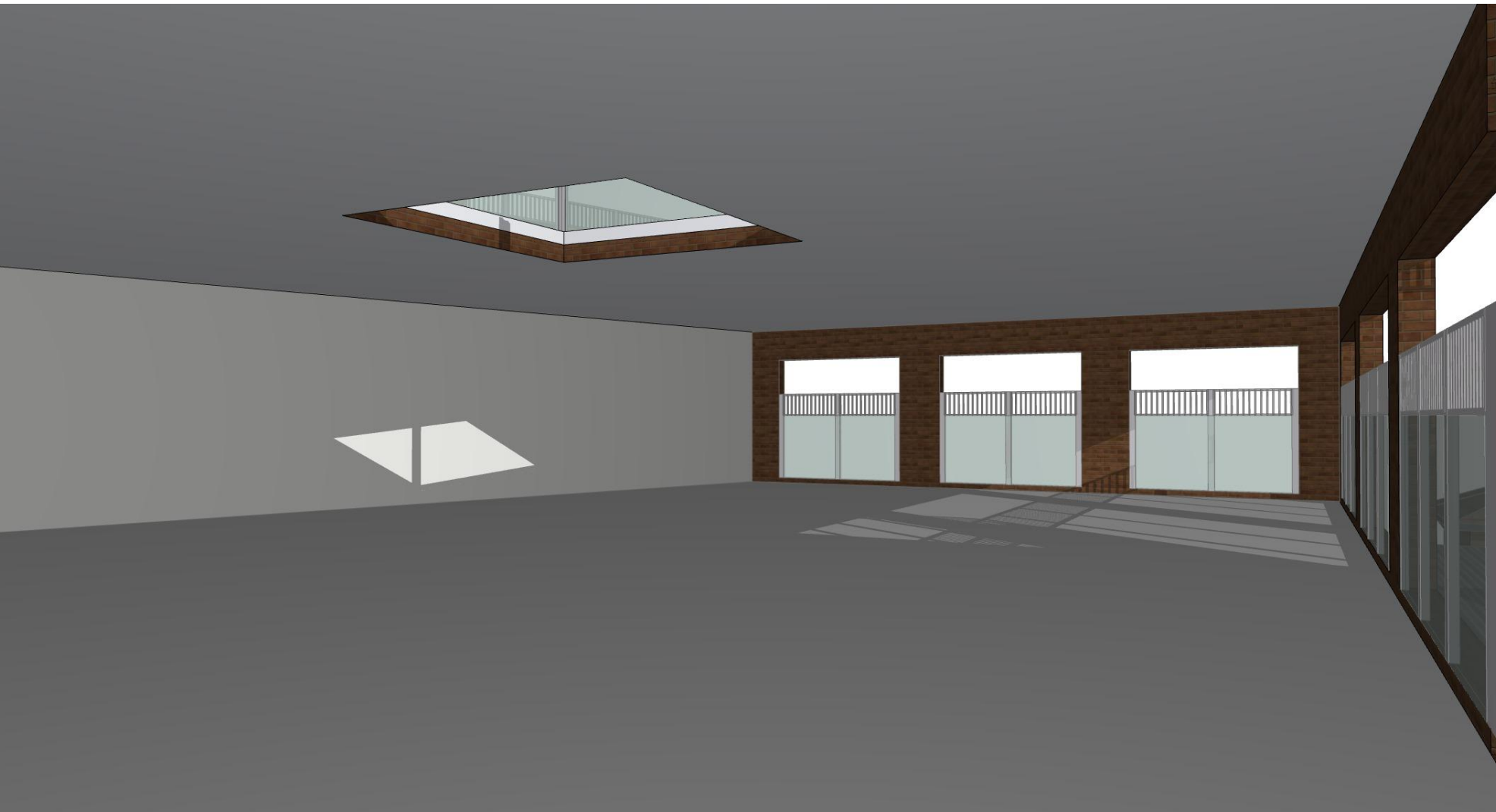
DRAWING No.

DA.16

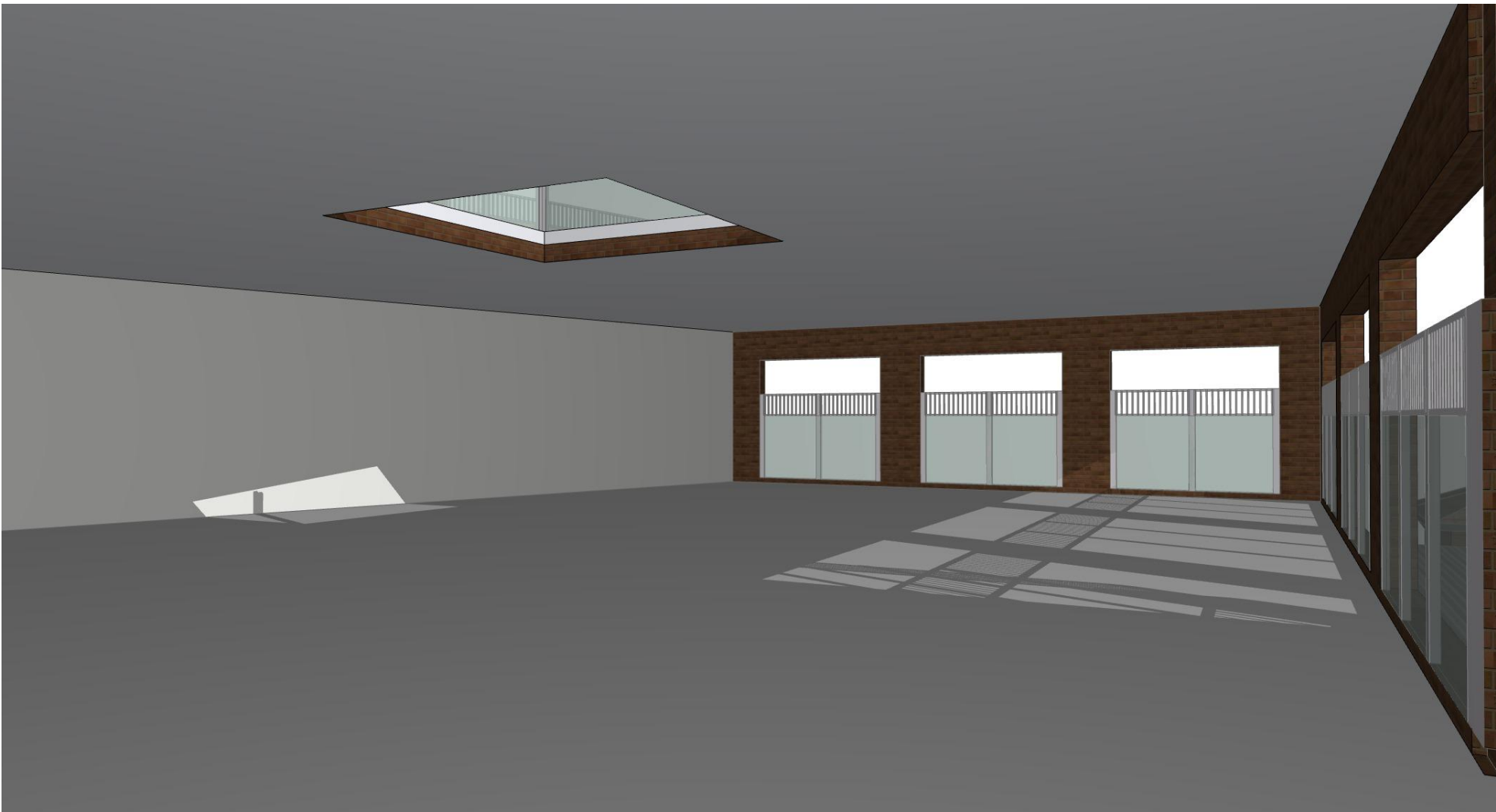
ISSUE

B

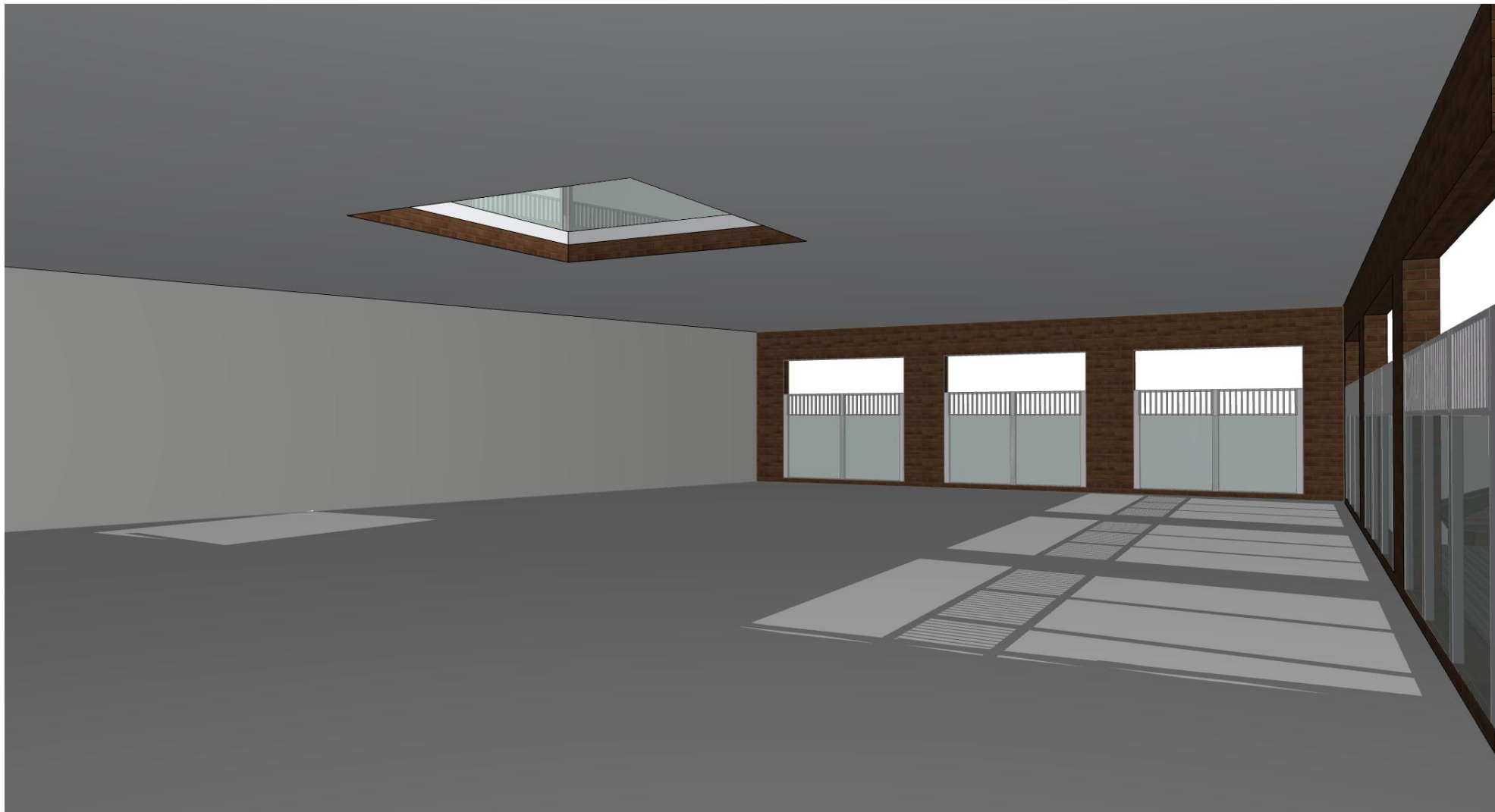




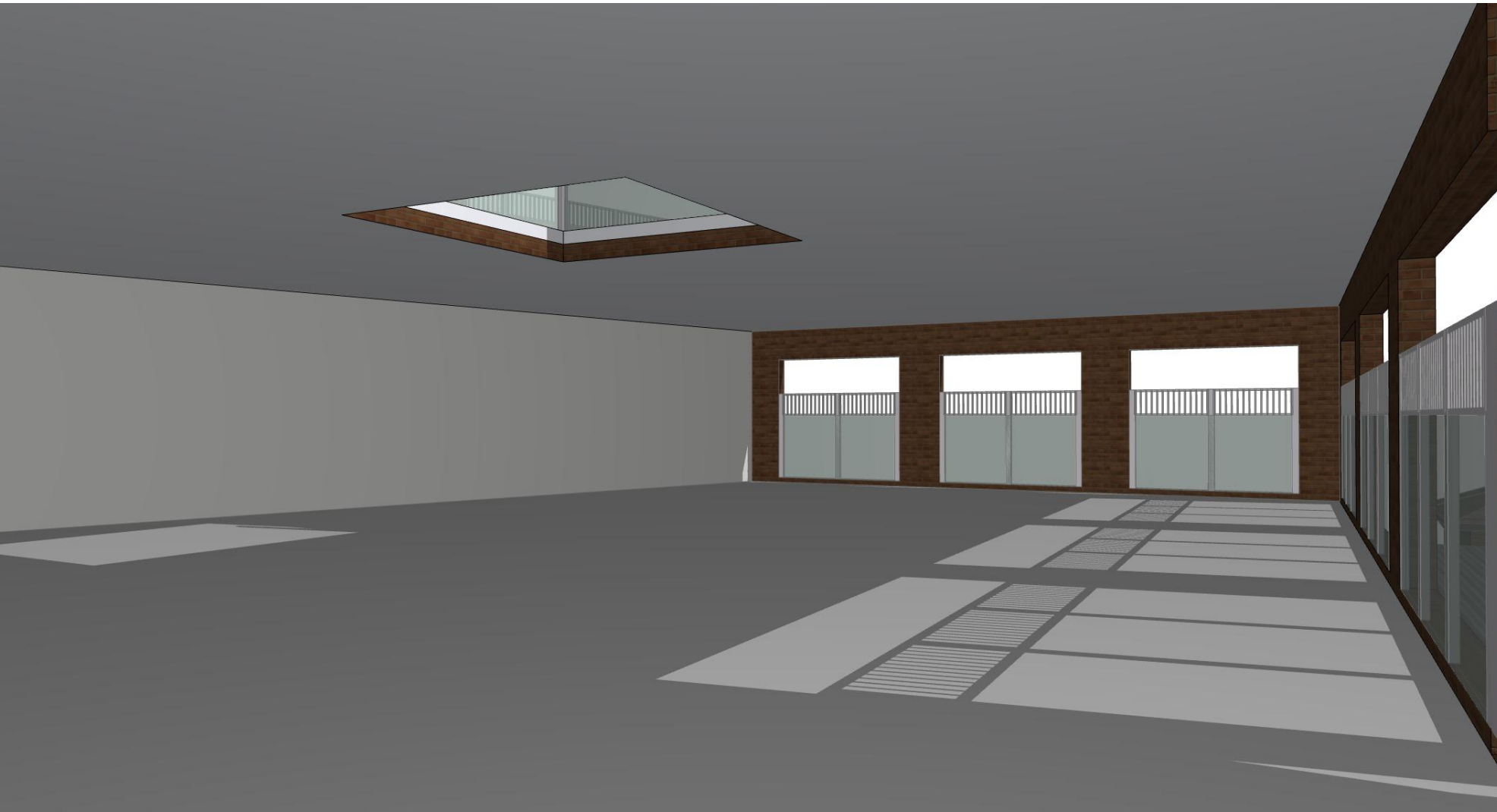
01 21st June - 9AM  
OPA #01 (0-2 years old)



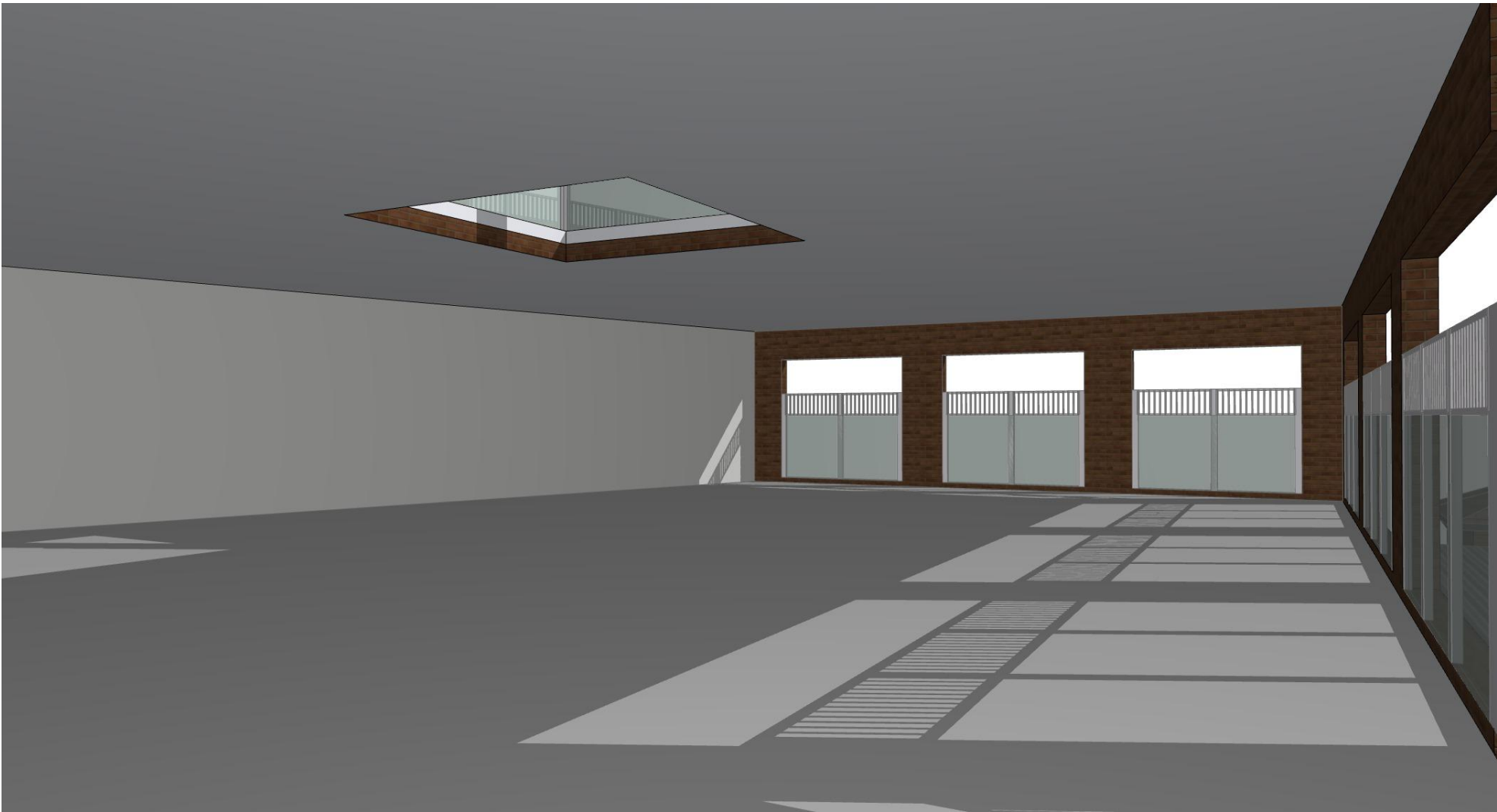
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OPA #01 (0-2 years old)



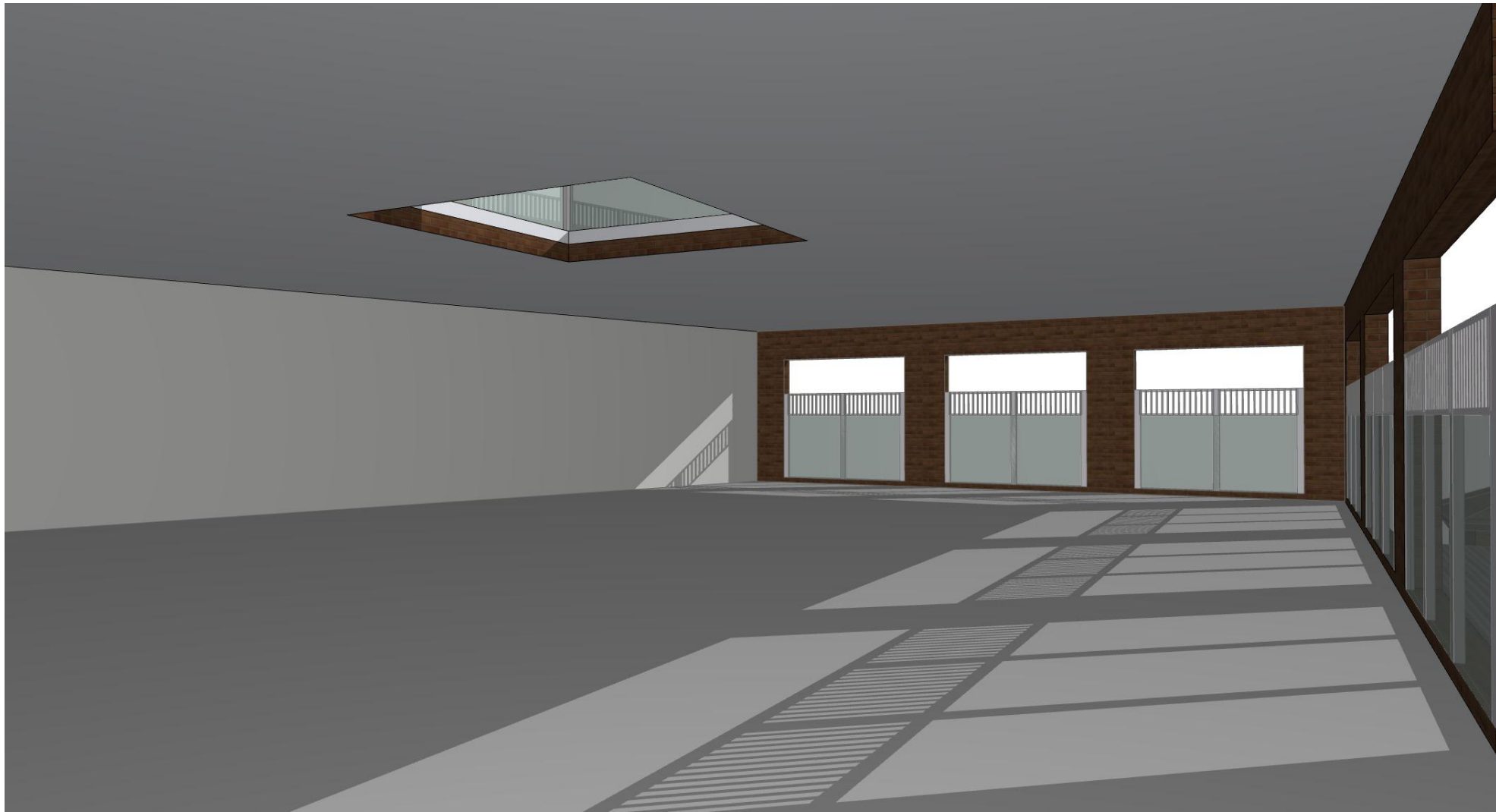
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OPA #01 (0-2 years old)



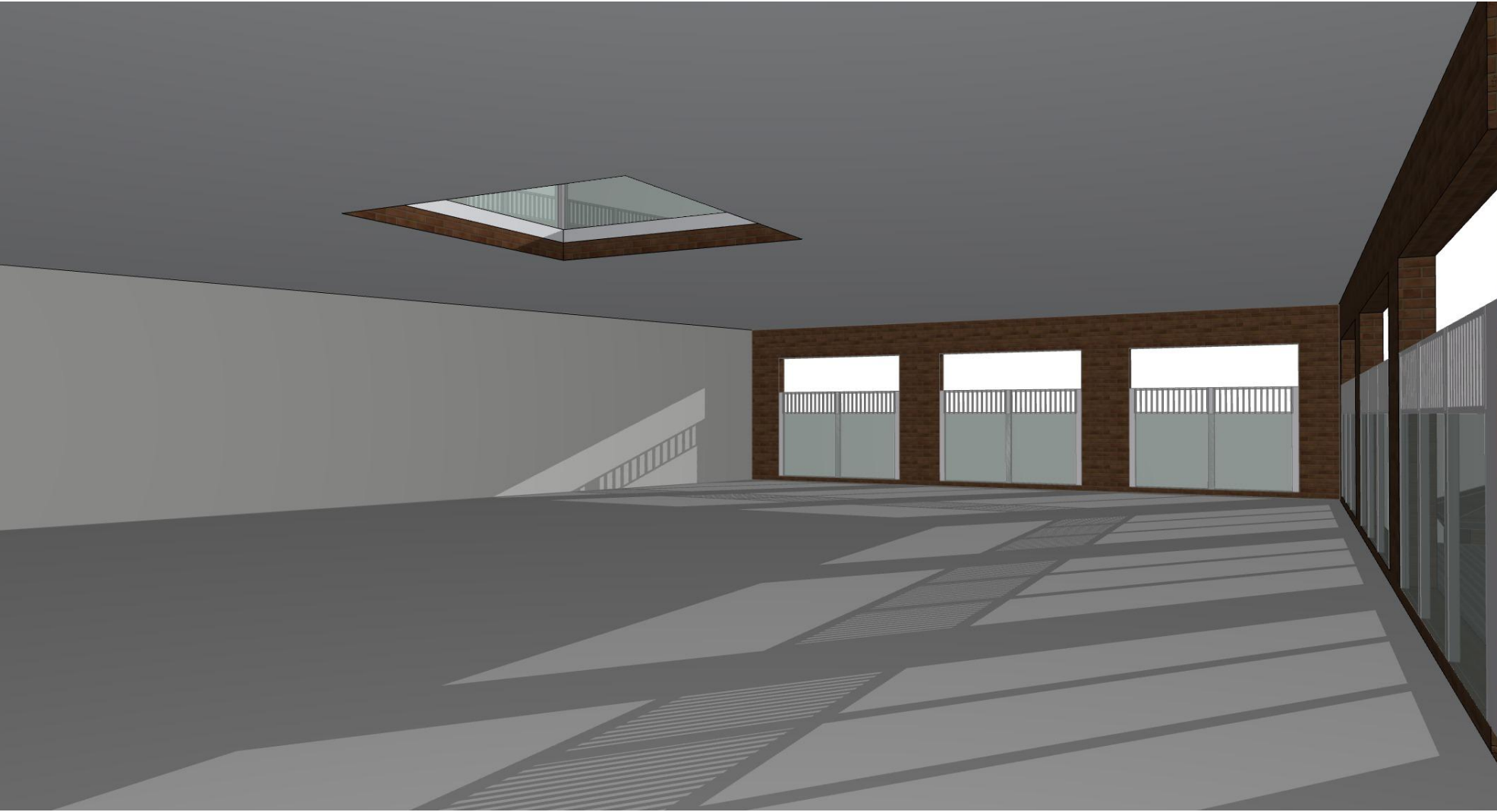
04 21st June - 12PM  
OPA #01 (0-2 years old)



05 21st June - 1PM  
OPA #01 (0-2 years old)



06 21st June - 2PM  
OPA #01 (0-2 years old)



07 21st June - 3PM  
OPA #01 (0-2 years old)



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
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PROJECT STATUS

Development Application

SHEET TITLE

Solar Access - OPA 01 @ L1  
(Looking South)

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No.	DRAWING No.
08797	DA.17

ISSUE

B

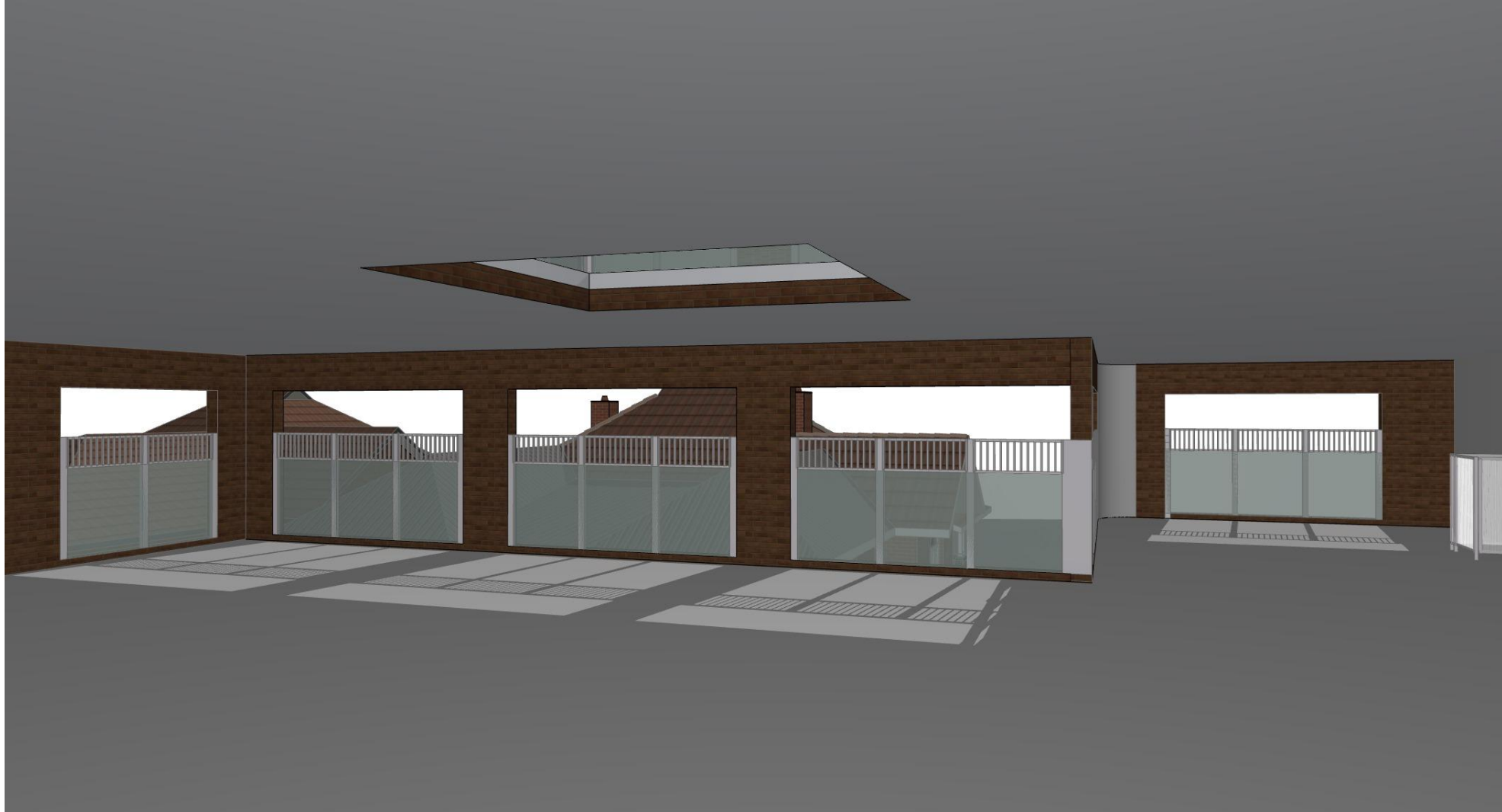




01 21st June - 9AM  
OPA #01 (0-2 years old)



02 21st June - 10AM  
OPA #01 (0-2 years old)



03 21st June - 11AM  
OPA #01 (0-2 years old)



04 21st June - 12PM  
OPA #01 (0-2 years old)



05 21st June - 1PM  
OPA #01 (0-2 years old)



06 21st June - 2PM  
OPA #01 (0-2 years old)



07 21st June - 3PM  
OPA #01 (0-2 years old)



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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Solar Acces - OPA 01 @ L1  
(Looking North)

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No.  
08797

DRAWING No.  
DA.18

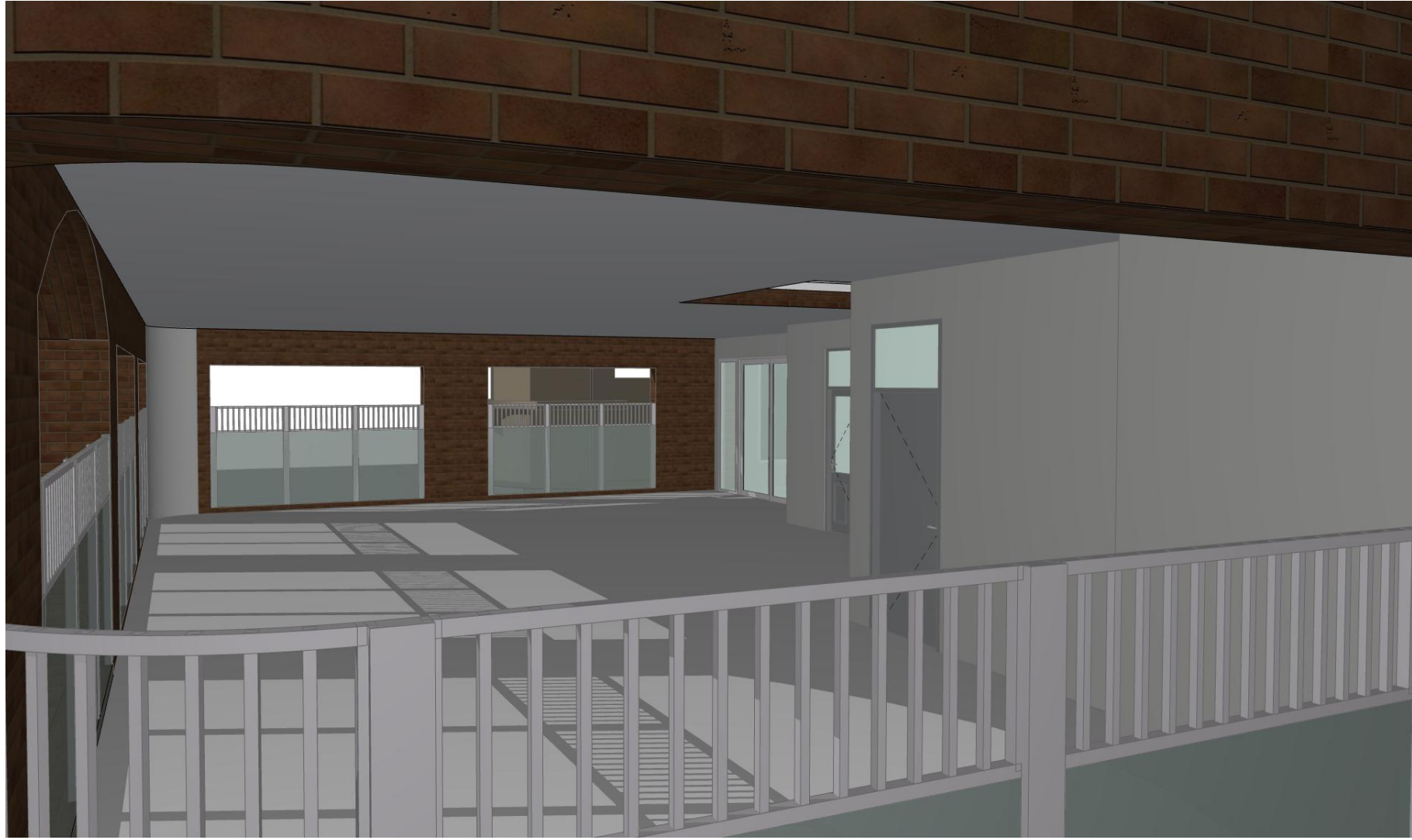
ISSUE

B





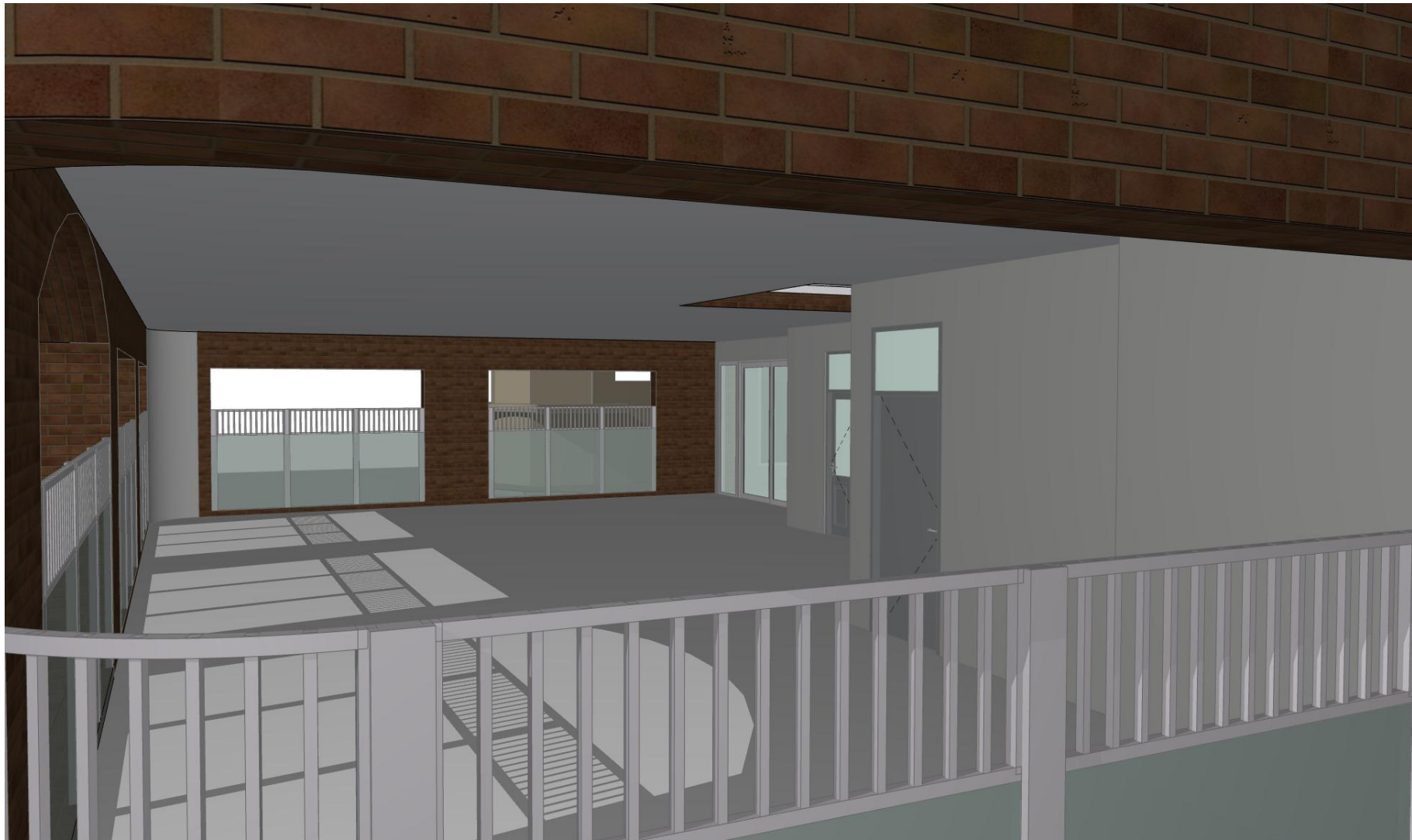
01 21st June - 9AM  
OPA #02 (2-3 years old)



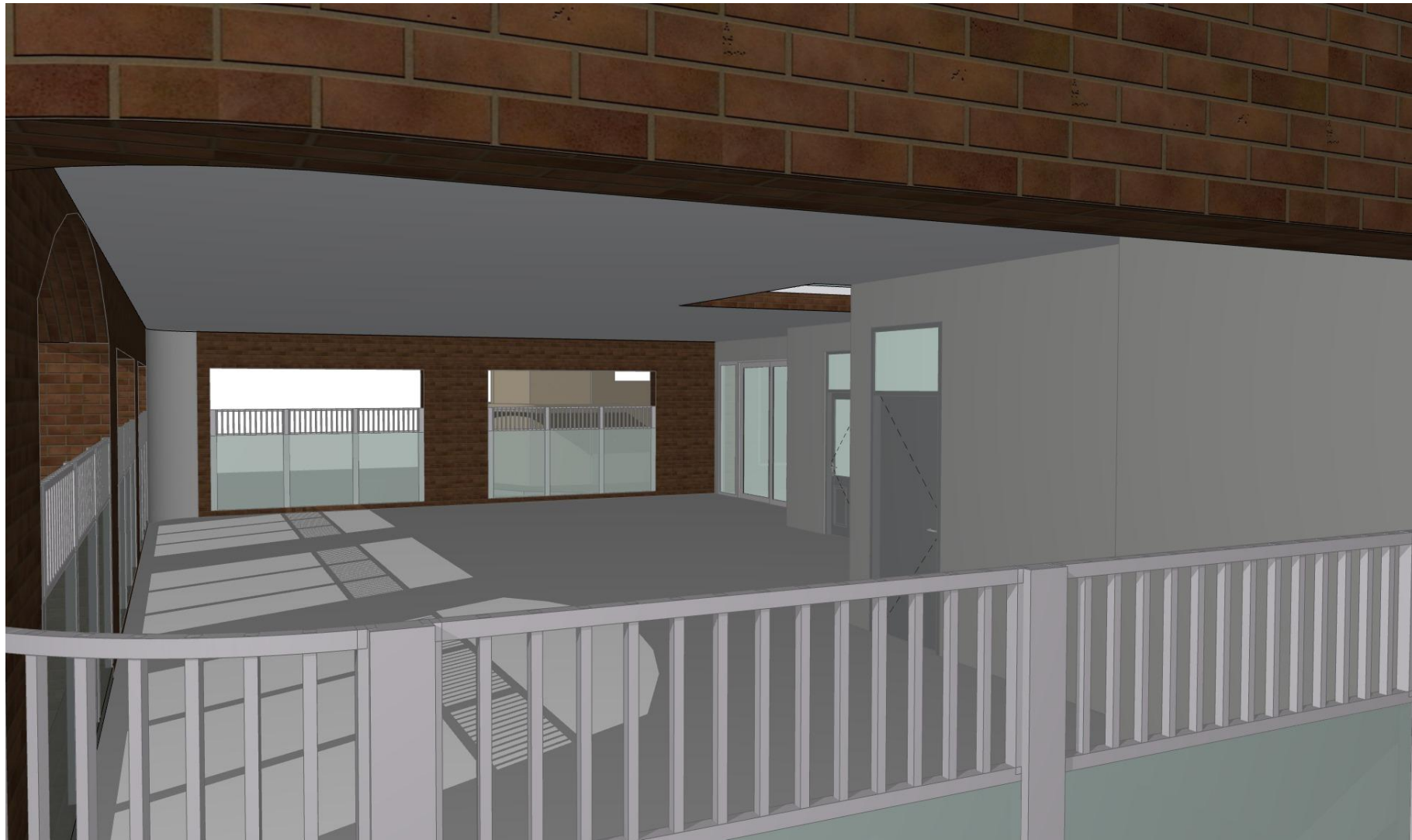
02 21st June - 10AM  
OPA #02 (2-3 years old)



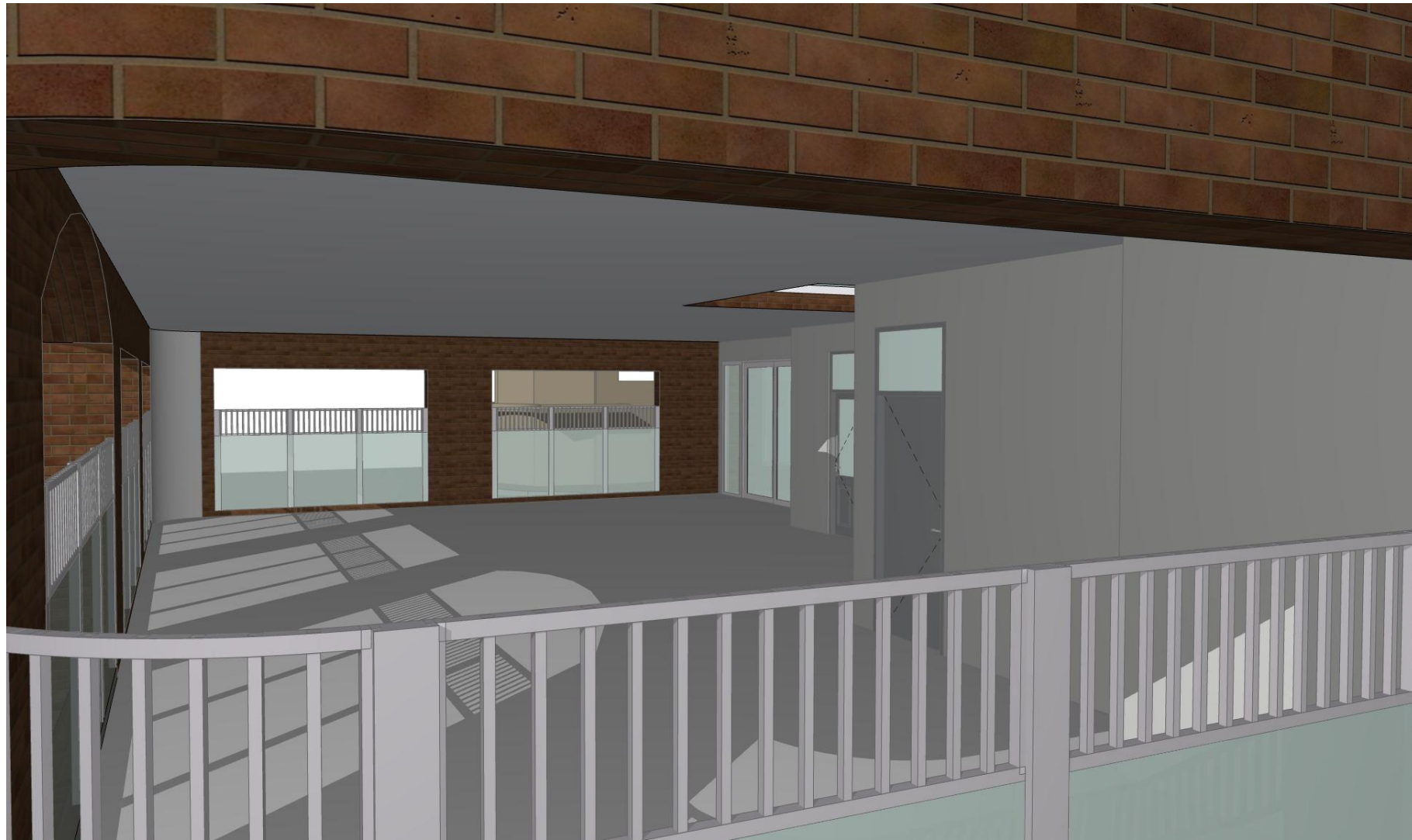
03 21st June - 11AM  
OPA #02 (2-3 years old)



04 21st June - 12PM  
OPA #02 (2-3 years old)



05 21st June - 1PM  
OPA #02 (2-3 years old)



06 21st June - 2PM  
OPA #02 (2-3 years old)



07 21st June - 3PM  
OPA #02 (2-3 years old)



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:18 AM			

GENERAL NOTES  
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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Solar Access - OPA 02 @ L1

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

Zhinar Architects Pty Ltd

Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
+61 2 8893 8888 / p  
+61 2 8893 8833 / f  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No.  
08797

DRAWING No.  
DA.19

ISSUE

B





01 21st June - 9AM  
OPA #03 & 04 (2-5 years old)



04 21st June - 12PM  
OPA #03 & 04 (2-5 years old)



07 21st June - 3PM  
OPA #03 & 04 (2-5 years old)



02 21st June - 10AM  
OPA #03 & 04 (2-5 years old)



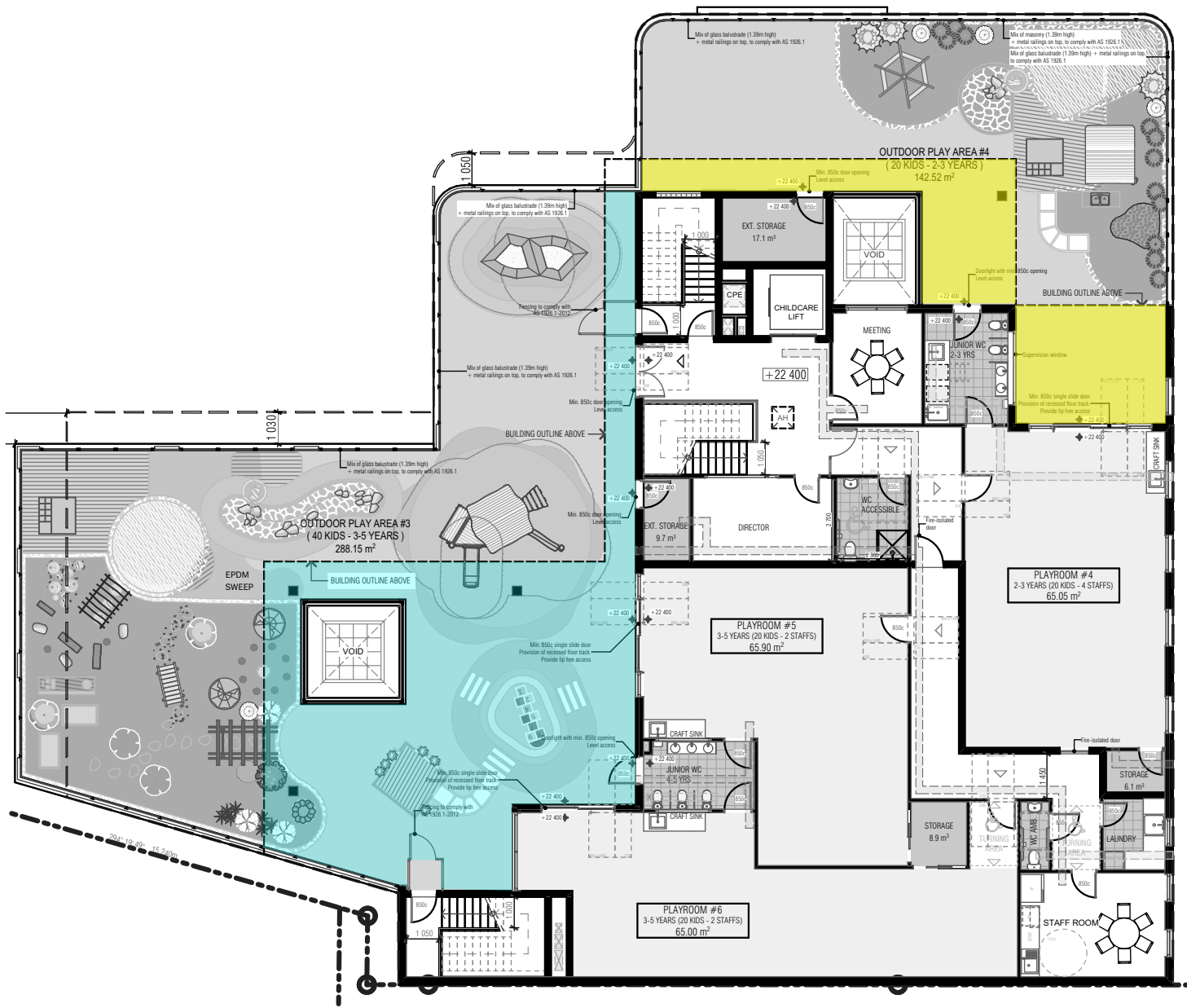
05 21st June - 1PM  
OPA #03 & 04 (2-5 years old)



03 21st June - 11AM  
OPA #03 & 04 (2-5 years old)



06 21st June - 2PM  
OPA #03 & 04 (2-5 years old)



SHADED AREA OF OPA #3 = 114.85 m2 (39.85% from OPA #3 area)

SHADED AREA OF OPA #4 = 42.75 m2 (30% from OPA #4 area)



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:18 AM			

GENERAL NOTES

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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Solar Access - OPA 3 & 4 @ L2

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
I.G.A.: Cumberland City Council				

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Eastwood NSW 2122  
+61 2 8893 8888 / p  
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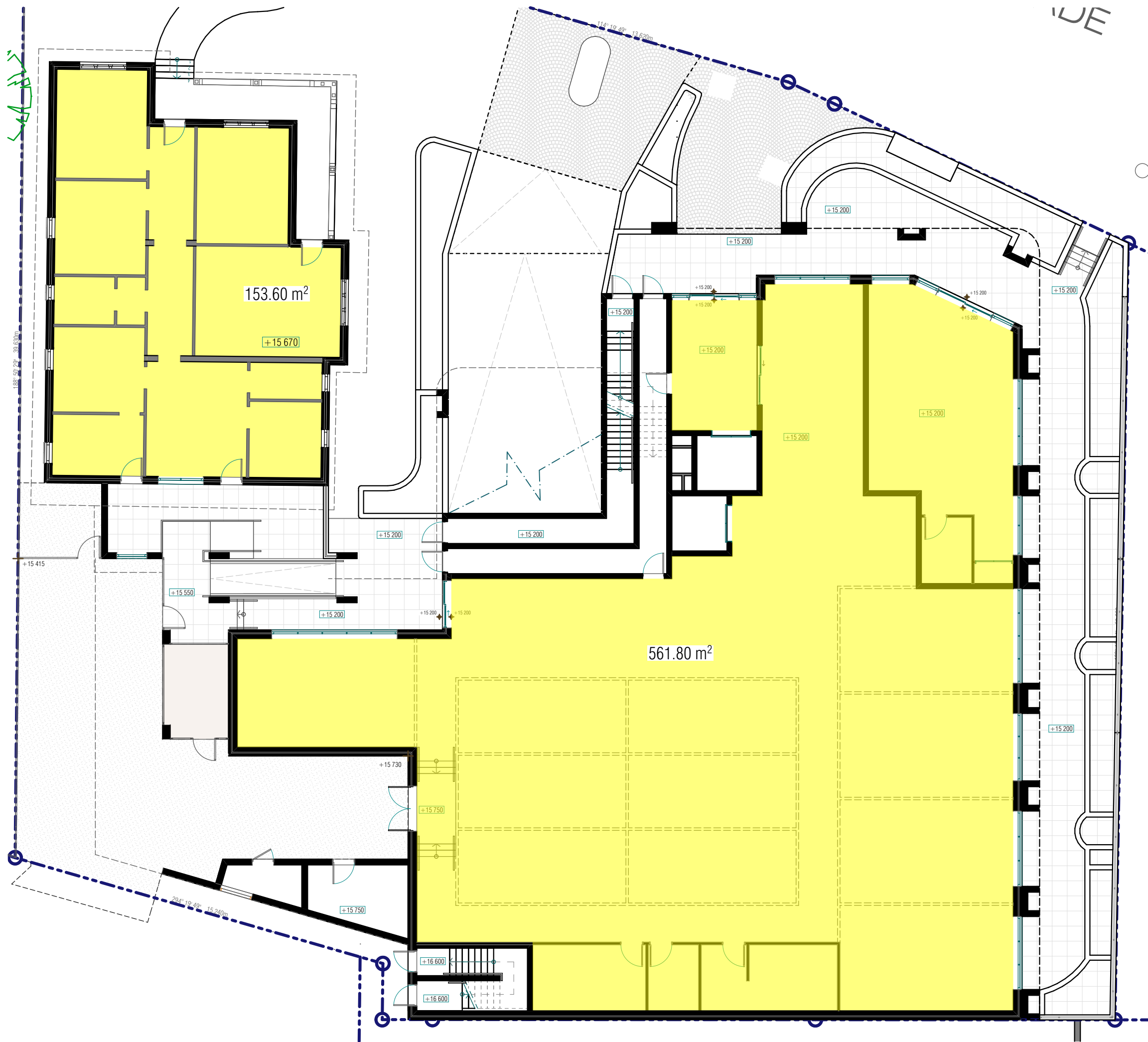
**zhinar**

PROJECT NAME

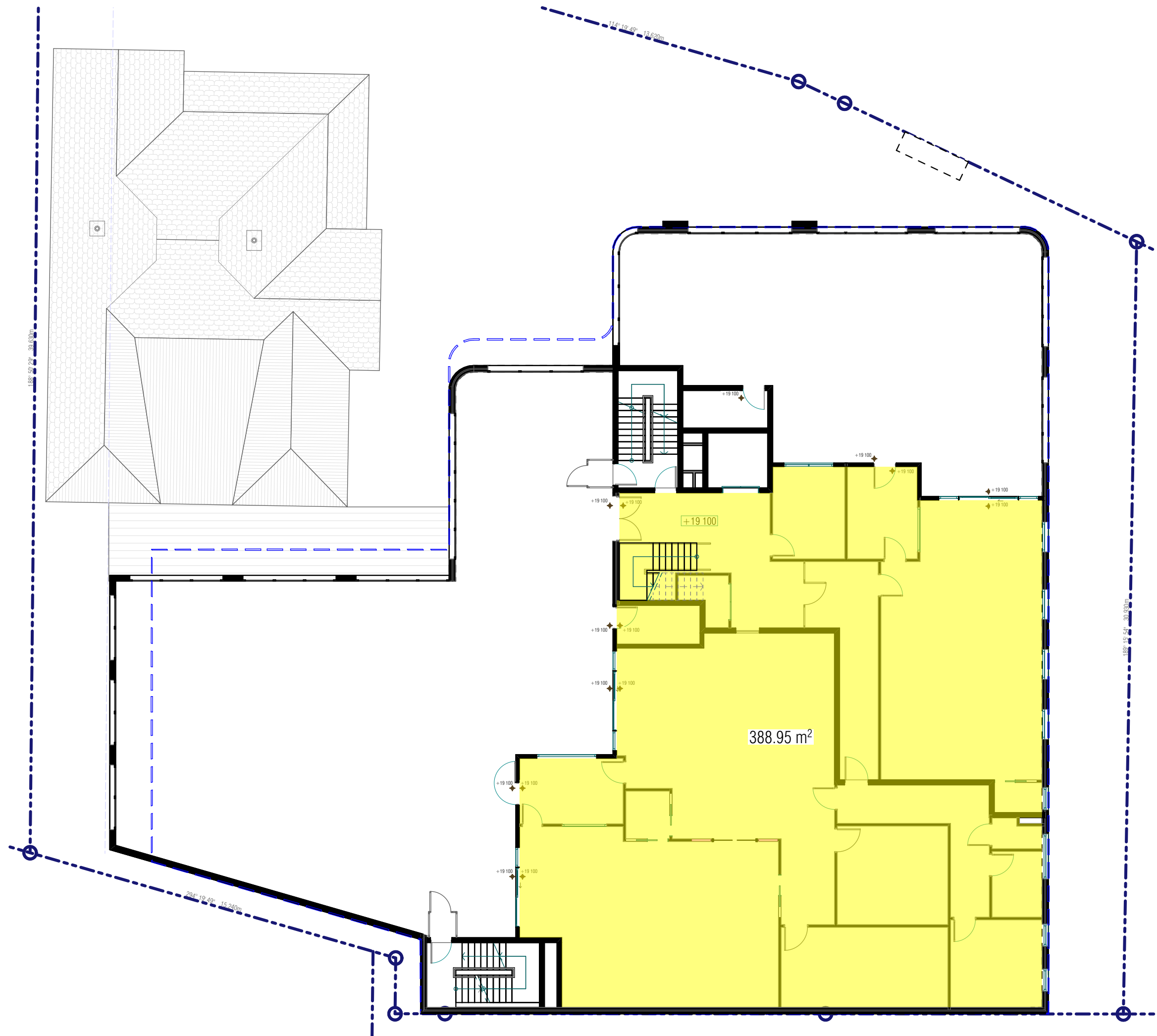
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.20

ISSUE  
B

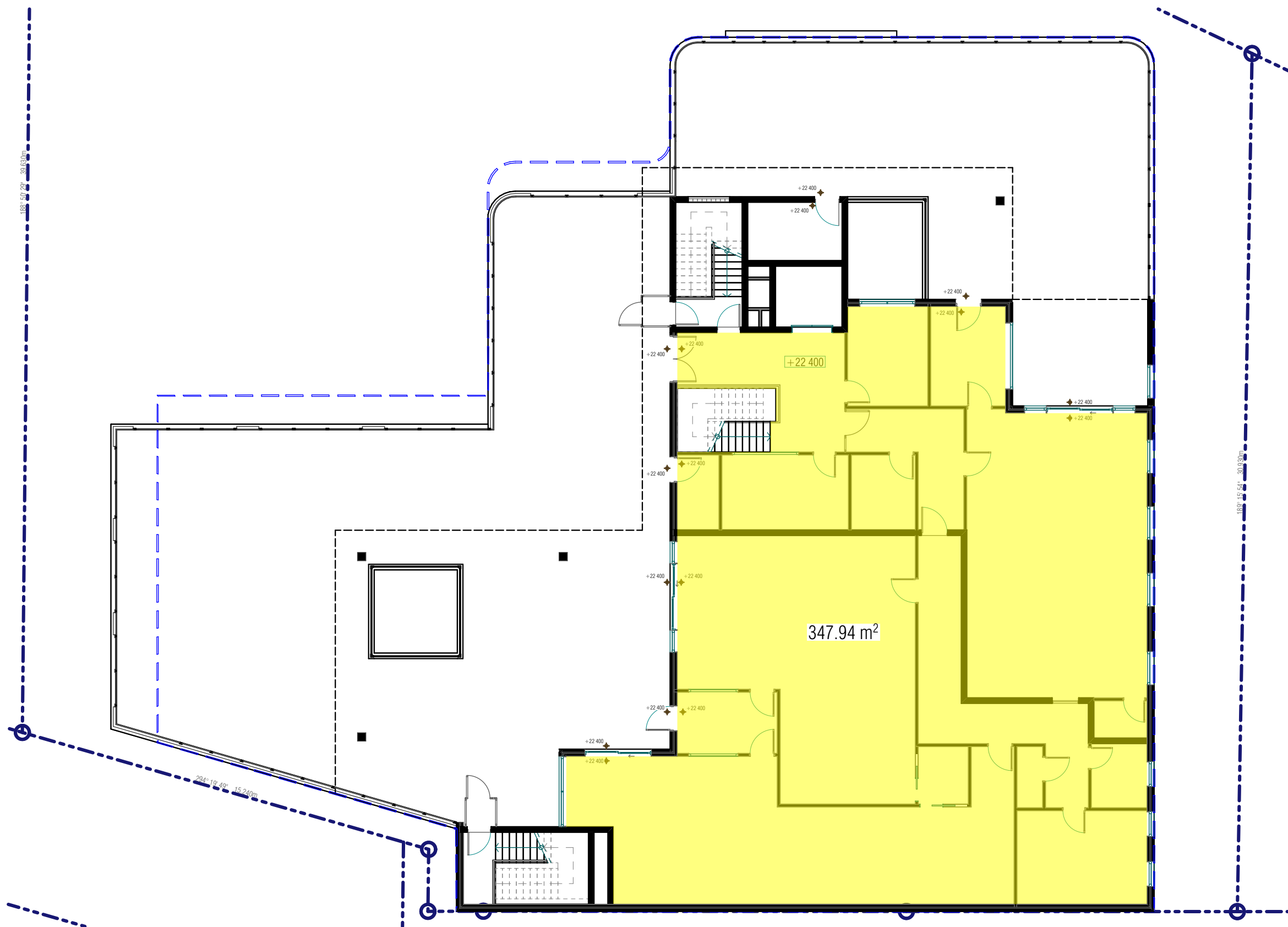




01 Ground Floor  
Scale 1:300 @ A3



02 First Floor  
Scale 1:300 @ A3



03 Second Floor  
Scale 1:300 @ A3

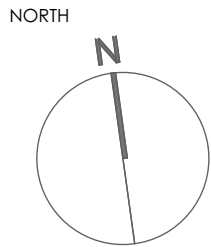
**PROPOSED GFA**

Ground FI	715.40 m <sup>2</sup>	Existing heritage house 153.60 m <sup>2</sup> Medical + commercial/retail 561.80 m <sup>2</sup>
First FI	388.95 m <sup>2</sup>	Childcare Center
Second FI	347.94 m <sup>2</sup>	Chidcare Center
Total GFA	1 452.29 m <sup>2</sup>	
FSR Permissible	0.8 : 1 (GFA 1 334.4 m <sup>2</sup> )	
FSR Proposed	0.87 : 1 (GFA 1 452.29 m <sup>2</sup> )	



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE	AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:19 AM			

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PROJECT STATUS

Development Application

SHEET TITLE

GFA Calculation

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: I.G.A.: Cumberland City Council

Zhinar Architects Pty Ltd  
Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
+61 2 8893 8888 / p  
+61 2 8893 8833 / f  
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PROJECT NAME

Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.21

ISSUE  
B





B		DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
A		ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
ISSUE		AMENDMENT	DATE	DRAWN	CHECKED
Print Date	Thursday, 6 June 2024, 8:19 AM		Drawing is NOT VALID or issued for use, unless checked.		

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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Photomontage

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AM	YT	Feb 2023	1:100 @ A1 Sheet 1:200 @ A3 Sheet	
L.G.A.: Cumberland City Council				

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Eastwood NSW 2122  
+61 2 8893 8888 / p  
+61 2 8893 8833 / f  
www.zhinar.com.au / w  
28 495 867 790 / otn

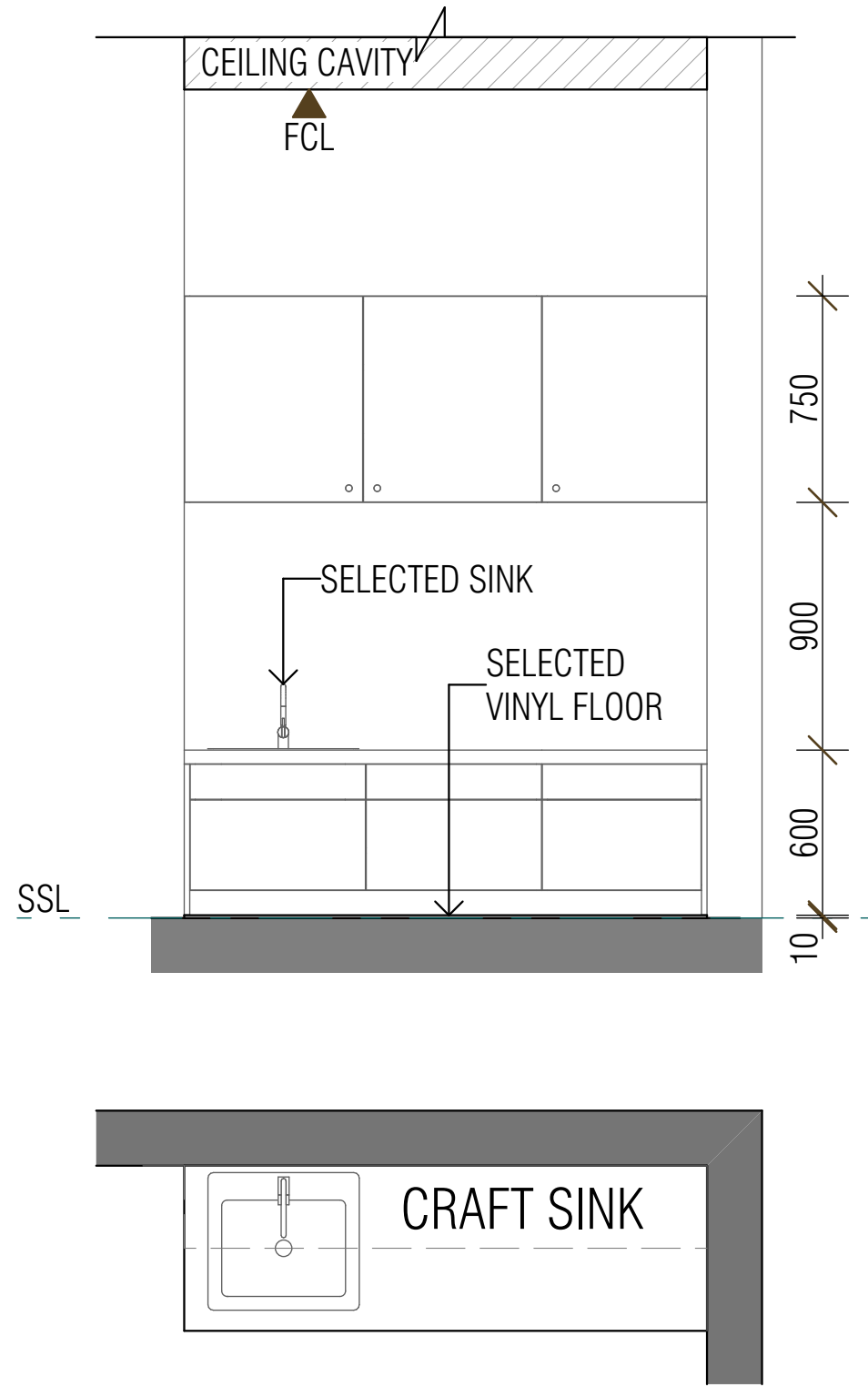
**zhinar**

PROJECT NAME

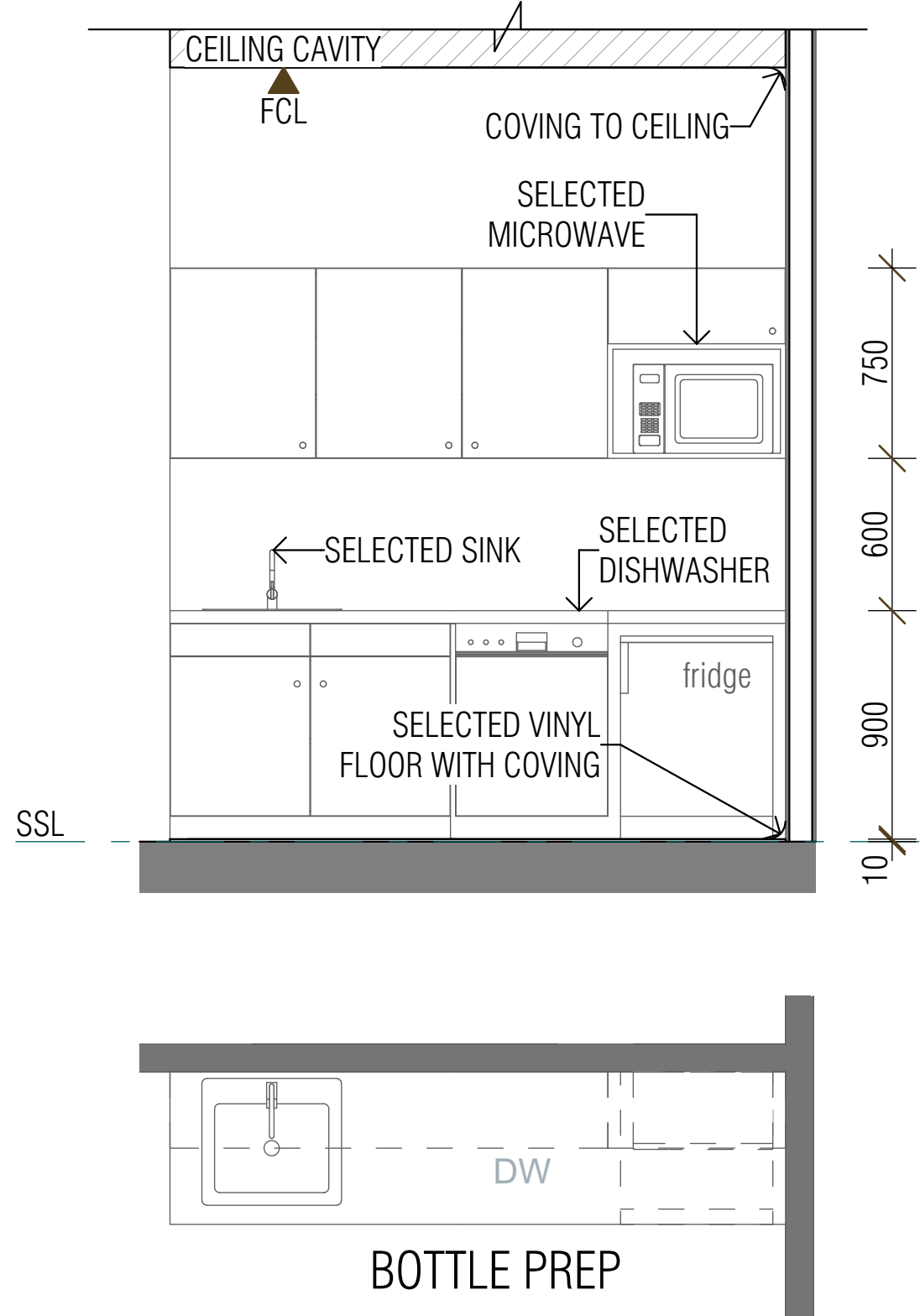
Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797  
DRAWING No. DA.22

ISSUE  
B

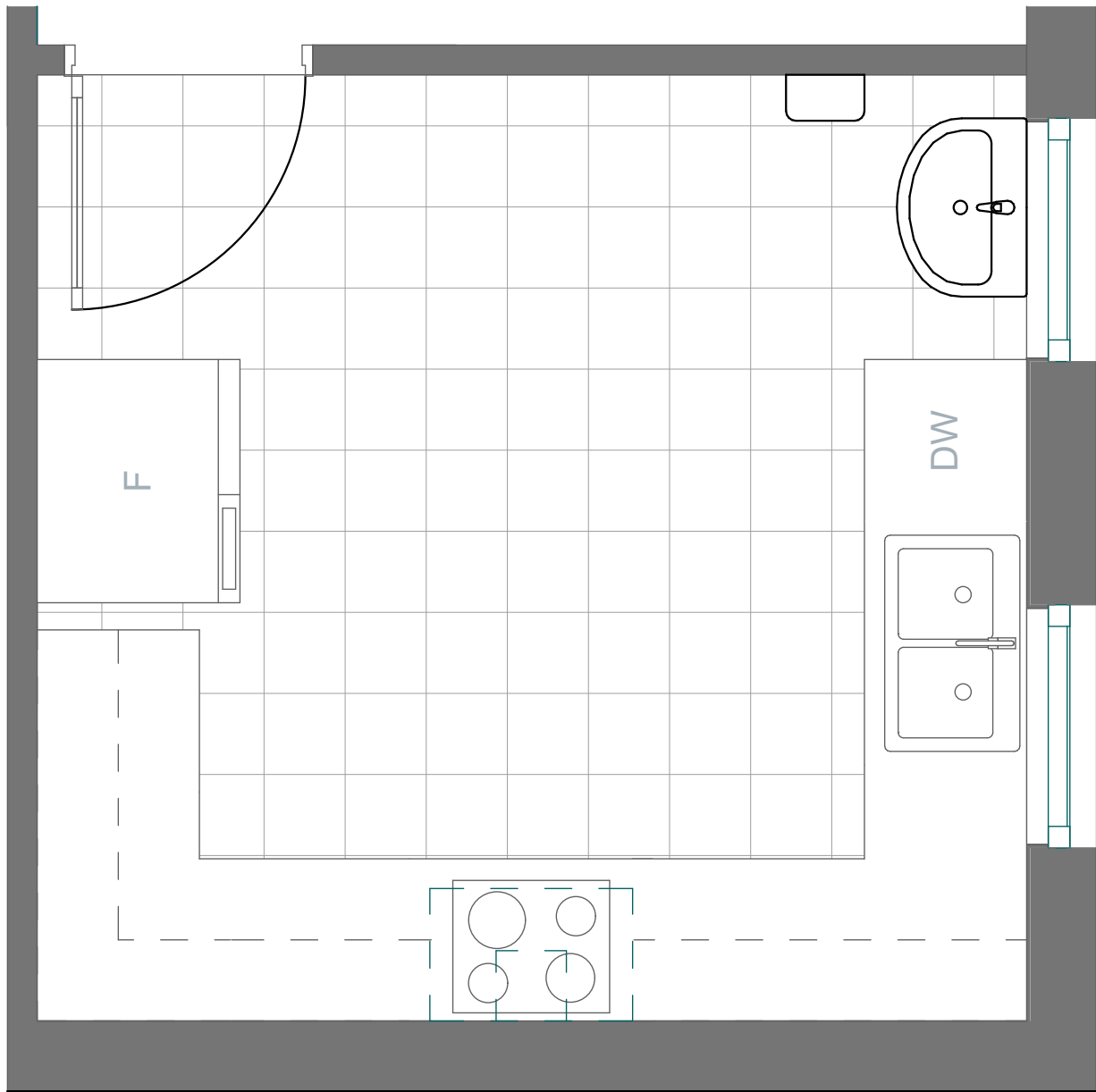




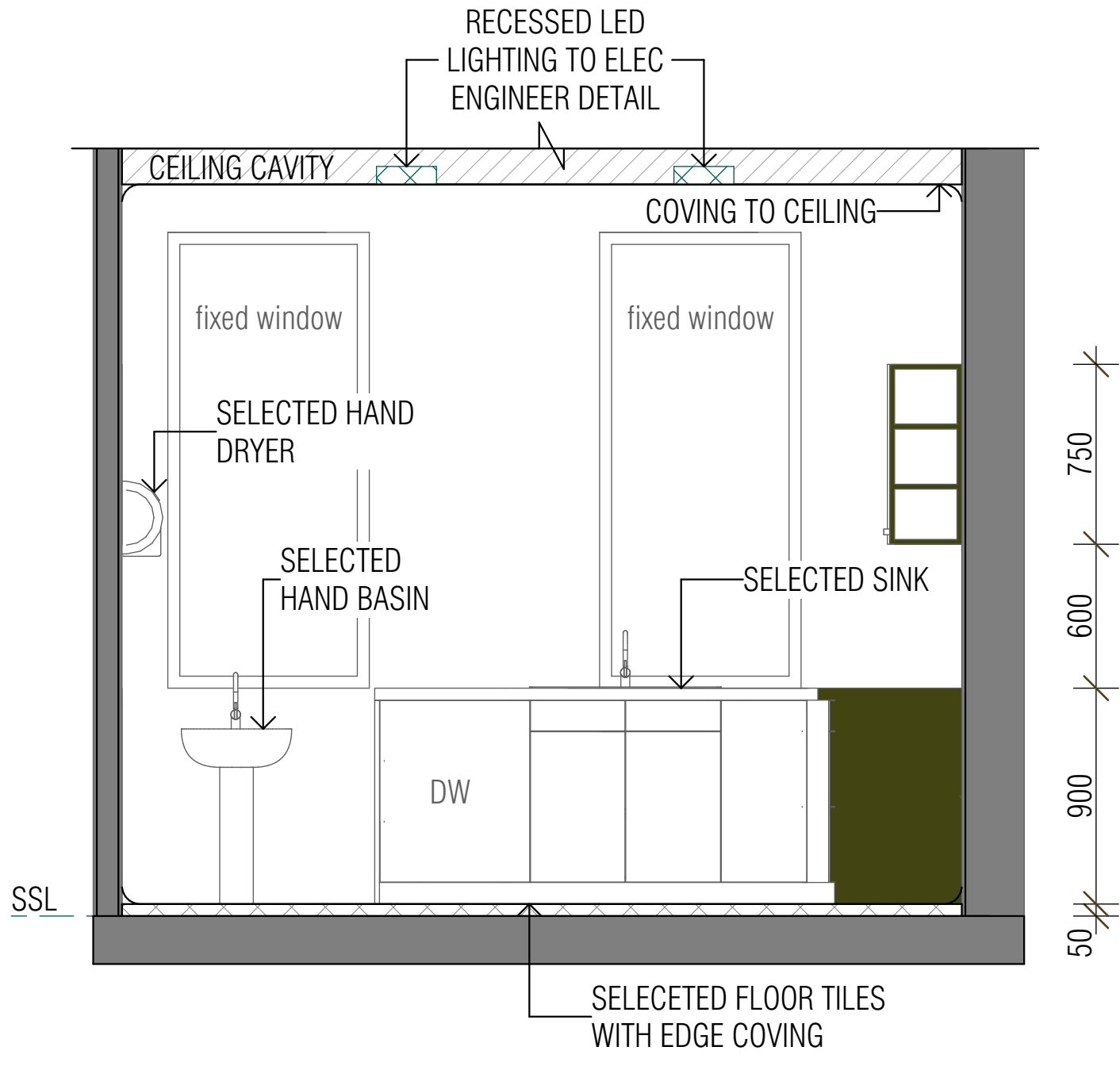
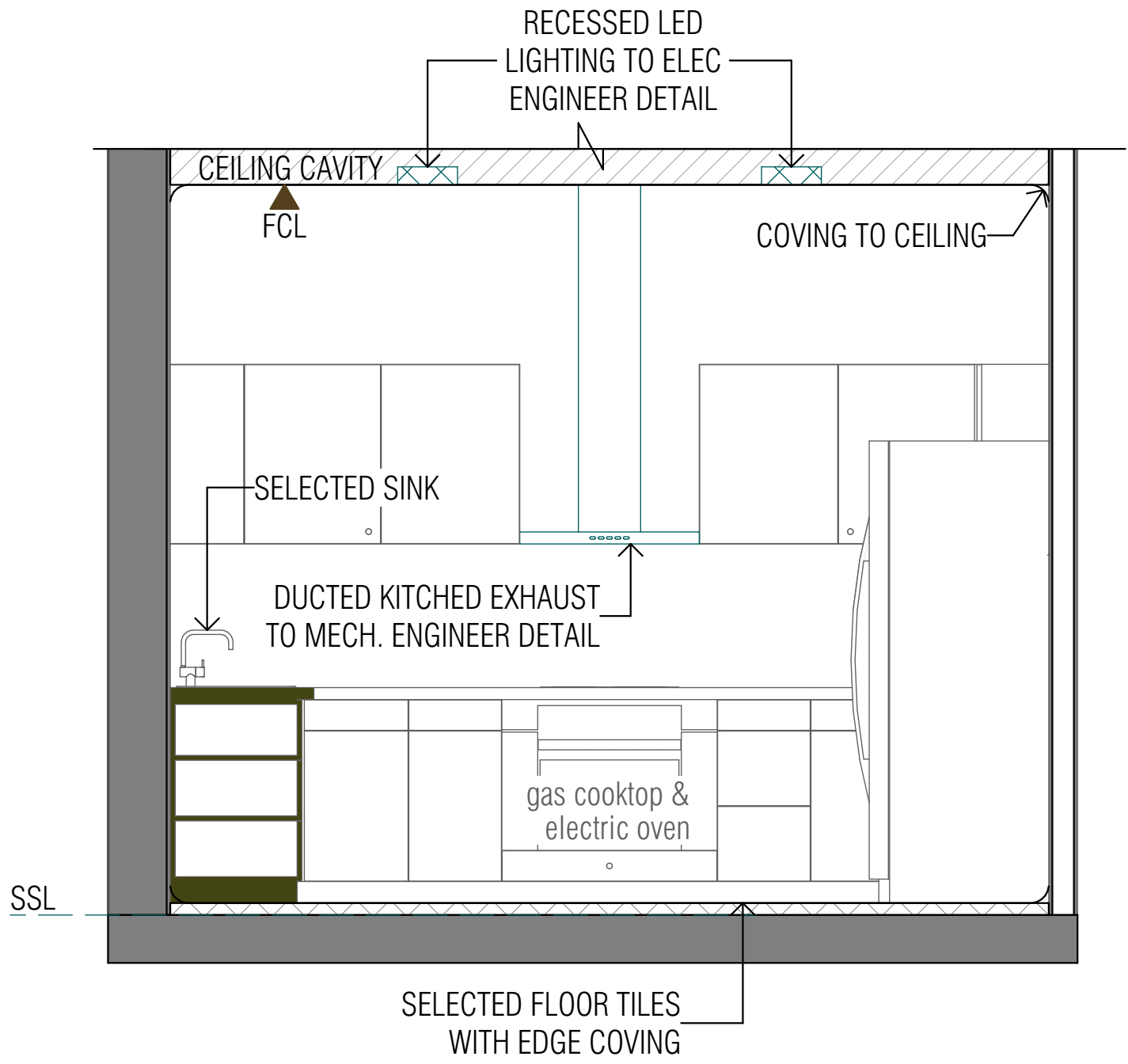
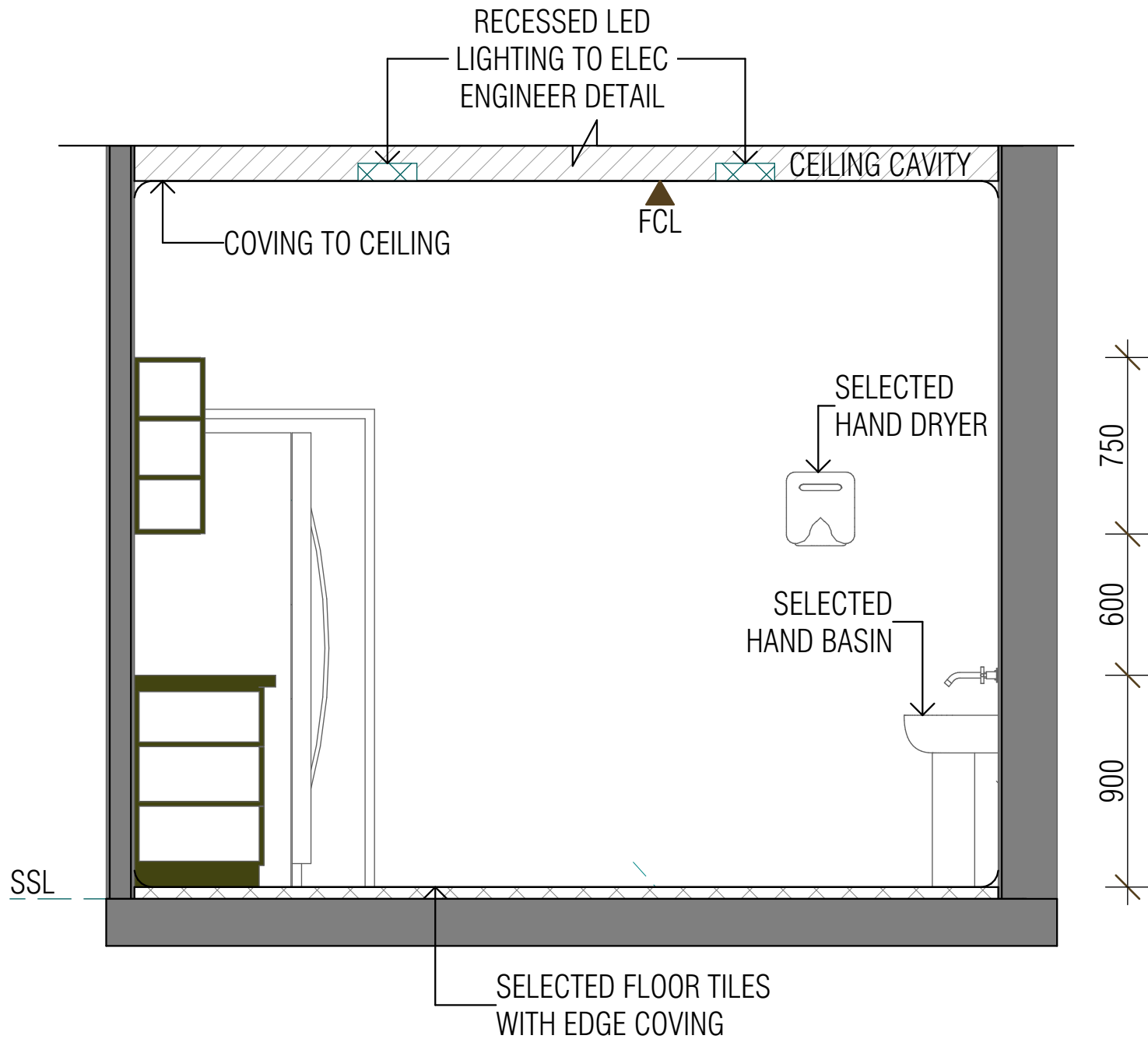
CRAFT SINK (TYPICAL)  
SCALE 1:50 @ A3



BOTTLE PREP (TYPICAL)  
SCALE 1:50 @ A3



KITCHEN  
SCALE 1:50 @ A3



ISSUE	DATE	DRAWN	CHECKED
B	6/06/2024	YT	AM
A	13/12/2024	YT	AM
ISSUE	DATE	DRAWN	CHECKED
Print Date: Thursday, 6 June 2024, 8:19 AM			

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NORTH

PROJECT STATUS

Development Application

SHEET TITLE

Internal Elevations & Details

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122

+61 2 8893 8888 / p  
+61 2 8893 8833 / f  
www.zhinar.com.au / w  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.23

ISSUE  
B





CURTILAGE OF EXISTING HERITAGE HOUSE  
397.89 m2



DEEP SOIL WITHIN CURTILAGE OF HERITAGE HOUSE  
192.82 m2 (48%)



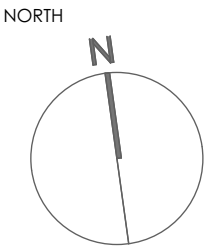
GARDEN AREA AT NEW MEDICAL CENTER  
192.82 m2 (48%)

01 Ground Floor  
Scale 1:100 @ A1



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL RFI 10.04.2024	6/06/2024	YT	AM
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ISSUE	DATE	DRAWN	CHECKED	
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PROJECT STATUS

Development Application

SHEET TITLE

Deep Soil & Landscape Calculation

DESIGNED: AM DRAWN: YT COMMENCED: Feb 2023 SCALE: 1:100 @ A1 Sheet 1:200 @ A3 Sheet PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
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PROJECT NAME

Mixed Use Commercial  
58-62 Railway Pde  
GRANVILLE NSW 2142  
JOB No. 08797 DRAWING No. DA.24

ISSUE  
B



NOTES:

A sign must be placed on the site detailing the builders name, licence number and contact details sediment traps and filters must be placed around all drains affected by construction works to prevent sediment entering the stormwater system. Sediment control traps and to be checked regularly the site should be secured by a continuous fence, hoarding or suitable barrier constructed in accordance with public safety and amenity "a code of good practice at construction sites" before and during work, excavations must be fenced to theyt do not pose a danger to life or property to the satisfaction of the relevant building surveyor and damage to the footpath, road, kerb, channel, stormwater drains or street furniture that results from excavation, demolition or building works is the responsibility of the builder or the developer. Any damage that may impact pedestrians, cyclists and motorists safety shall be repaired immediately. When using skip or rubbish bins, take the following steps to prevent disruption to public areas. Protect pavements and streets and conduct dilapidation surveys before and after works have taken place.

Adequate barriers must be installed to prevent the public from accessing the construction area. Any occupation or activity presenting a hazard to the public must be provided with suitable barriers in accordance with the public safety and amenity "a code of good practice at construction sites" excavations adjacent to or in close proximity to a road must be designed to support the road or pathway in accordance with the public safety and amenity "a code of good practice on construction sites". Dial 1100 (dial before you dig) to locate services on footpath prior to excavation.

All existing trees must be protected wherever possible where they are near proposed demolition, excavation and construction works.

Perimeter fencing must be designed to minimize the impact of dust on adjoining properties and the general public.

Ensure sediment form the building site is retained on site during construction.

Prevent contamination or damage to stormwater drains and waterways.

Maintain all details as pre stormwater management plan.

Liase with neighbors residences to apply full traffic control when concreting.

Ensure all dust is contained within the construction site and that surrounding residences are not affected.

DEMOLITION WORK PLAN NOTES:

All demolition material shall be removed from the site within 21 days of demolition (unless otherwise stipulated by council in writing or unless materials are to be reused in the development). If this is the case the materials are to be stored in a neat and tidy manner and not within the drip line of any trees.

There is to be no burying of materials on site whatsoever. No demolition of excavation will commence on site until the relevant hoardings are erected and prominent form the main street. Adequate fire precautions will be taken to ensure the prevention of the possibility of fire.

The site shall be kept vermin free at all times

Where possible, consideration will be given to the recycling to any demolished or excavated material for the reuse in the proposed building.

Waste containers will be kept wholly within the property and not on any public footpath, place or road as shown on the waste management plan.

The demolition work, or excavation work, (if applicable) shall be carried out be a licensed demolition contractor.

The site will be adequately setup with all necessary amenities ie. Sheds, toilets, running water, etc.

If asbestos material is found, it is to be transported off site and removed in compliance with work cover requirements.

The bulk of demolition will be carried out be appropriate machinery after it has been made safe by removal of any poisonous material first. Waste will be removed by loading trucks using machinery. Location and treatment of entry points on site for truck access are shown on the CC waste management plan. All trucks will be required to cover their loads prior to departing the site and accessing public roads.

All construction times shall conform to councils regulations or those specifically stipulated in the conditions of consent.

All works are to ensure safe access and egress from the site. All road and footpath areas are to be protected from building activities.

All loading and unloading of goods and materials is to be on site with the appropriate safety measures taken to ensure safety of all workers on site.

Existing vegetation to be removed or retained refer to Arborist report and demolition plan.

Soil and excavated material is not to be transported onto surrounding footpaths and roadways.

The method of support to any excavation adjacent to adjoining properties or road reserves is to be detailed and designed by a chartered civil engineer. With national professional engineering registration (NPER) in the construction of civil works or a survey company of registered surveyors with "preliminary accreditation" from the institute of surveyors NSWINC. Or an accredited certifier.

Prior to demolition, the applicant shall submit this work plan in accordance with AS2601-2001 and other relevant standards.

Hazardous dust must not be allowed to escape from the site or contaminate the immediate environment. The use of fine mesh dust proof screens.

At work (NOHSC 1012, 1994) and AS/NZS 2179.1.1994

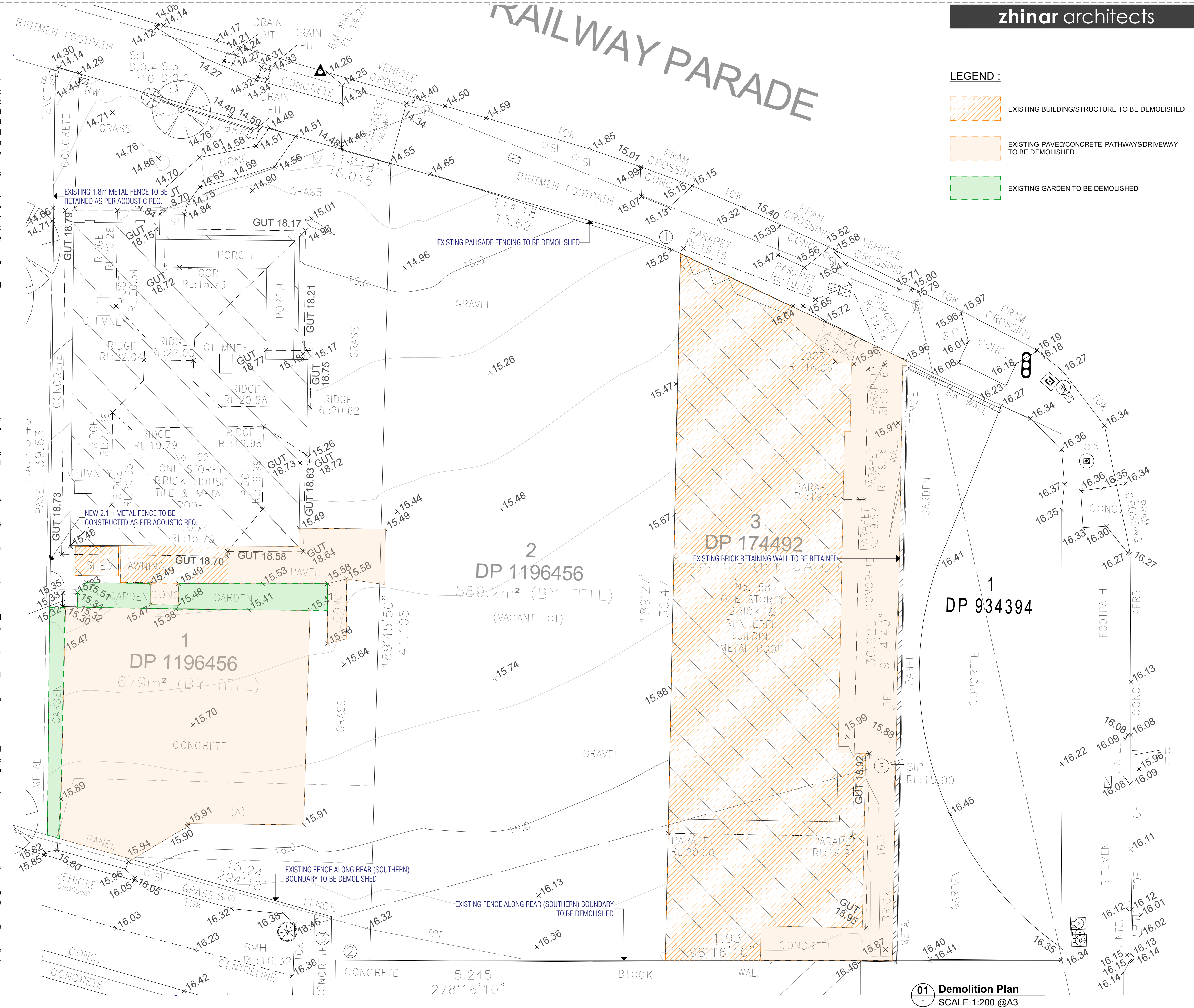
Wet lead safe work practices , or other measures in required.

All contractors directly involved in the removal of hazardous dust and substances shall wear protective equipment conforming to AS/NZS 1716:2003

Any existing accumulation of dust (Eg: ceilings, voids and wall cavities, must be removed by the use to an industrial vacuum fitted with a high efficiency particulate street gutter and stormwater systems. Air (HEPA) filter and disposed of efficiently and appropriately.

All dust surfaces and dust created from work is to be suppressed by a fine water spray. Water used as a suppressant spray is not to be allowed to enter the existing stormwater system.

Demolition is not to be performed during high winds that way cause dust to spread beyond the site boundaries without adequate containment all lead contaminated material is to be disposed of in accordance with the NSW environmental protection authorities requirements.

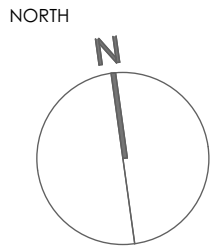


01 Demolition Plan  
SCALE 1:200 @A3



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
A	ISSUED FOR DEVELOPMENT APPLICATION	13/12/2024	YT	AM
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PROJECT STATUS

Development Application

SHEET TITLE

Demolition Plan

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

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Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
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PROJECT NAME

Mixed Use Commercial

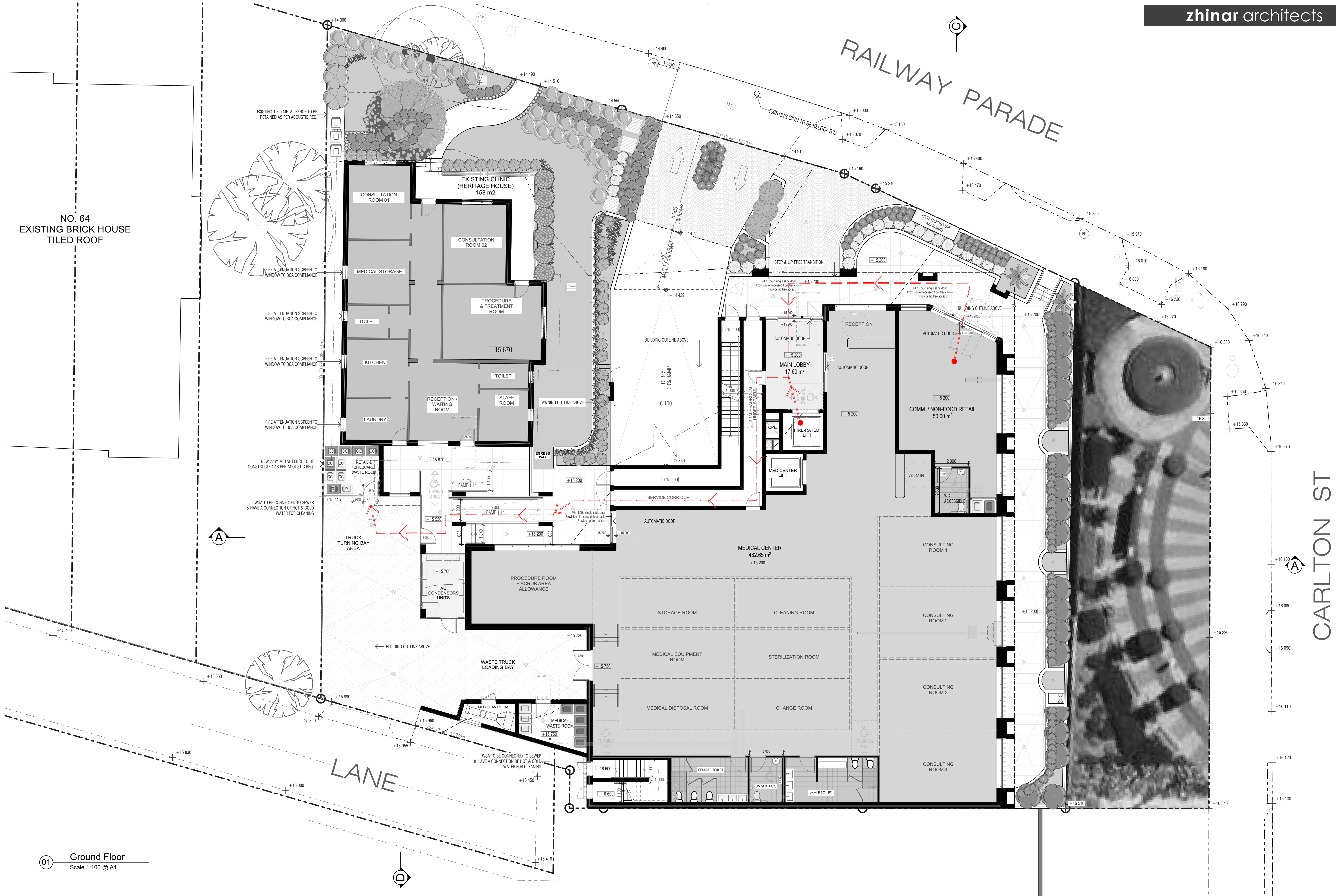
58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.25

ISSUE

B





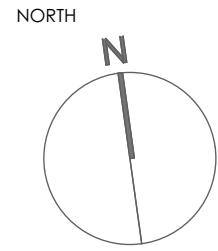
01 Ground Floor  
Scale 1:100 @ A1



B	DRAWINGS UPDATED IN RESPONSE TO COUNCIL REF 10.04.2024	6/06/2024	YT	AM
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PROJECT STATUS

Development Application

SHEET TITLE

Waste Handling Route

DESIGNED: AM  
DRAWN: YT  
COMMENCED: Feb 2023  
SCALE: 1:100 @ A1 Sheet  
1:200 @ A3 Sheet  
PRINT: L.G.A.: Cumberland City Council

Zhinar Architects Pty Ltd

Suite 1, Level 2  
2 Rowe Street  
Eastwood NSW 2122  
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+61 2 8893 8833 / f  
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PROJECT NAME

Mixed Use Commercial

58-62 Railway Pde  
GRANVILLE NSW 2142

JOB No. 08797  
DRAWING No. DA.26

ISSUE  
B